

TPWD TEAM				DESIGN TEAM
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<b>CONTRACT MANAGER</b>	<b>CONSTRUCTION MANAGER</b>			
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**PROJECT**

**BIG SPRING STATE PARK**

**MAINTENANCE SHOP ROOF REPLACEMENT**

PROJECT NO: MR10418 DATE: DEC. 9, 2019

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
-	COVER SHEET
A0	ABBREVIATIONS, NOTES AND SUBMITTALS
A1	DEMOLITION ROOF PLAN & PHOTOS
A2	PROPOSED ROOF PLAN AND DETAILS
A3	PROPOSED FLOOR PLAN, ELEVATIONS AND DETAILS
A4	WALL SECTIONS
A5	DETAILS
A6	FRAMING DETAILS

BUILDING CODE SUMMARY	
A. INTERNATIONAL CODE COUNCIL ADOPTIONS*	INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL FUEL GAS CODE 2015 INTERNATIONAL RESIDENTIAL CODE 2015 INTERNATIONAL EXISTING BUILDINGS CODE 2015
* International Fire Code omitted in lieu of TPWD's implementation of National Fire Protection Association codes. International Energy Conservation Code 2015 omitted in lieu of Energy Standard for Buildings, ASHRAE/IESNA Standard 90.1 (2013).	
B. NATIONAL FIRE PROTECTION ASSOCIATION	NATIONAL ELECTRICAL CODE NFPA-70 2017 NFPA - 1 2015 NFPA - 101 2015
C. STATE ENERGY CONSERVATION OFFICE (SECO)/TEXAS COMPTROLLERS OFFICE	ENERGY CODES FOR STATE BUILDINGS - See Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch. 19, Subchapter C a. COMPLIANCE WITH THE ENERGY CONSERVATION DESIGN STANDARD OF THE AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS (ASHRAE) /ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA), ENERGY STANDARD FOR BUILDINGS, ASHRAE/IESNA STANDARD 90.1 (2013) See SECO website for State Funded Buildings, New Construction and Major Renovation Requirements and SECO Compliance Certification Forms 2. WATER CONSERVATION STANDARDS FOR STATE BUILDINGS - Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch. 19, Subchapter C a. COMPLIANCE WITH THE WATER CONSERVATION DESIGN STANDARDS FOR STATE BUILDINGS AND INSTITUTIONS OF HIGHER EDUCATION FACILITIES, STATE ENERGY CONSERVATION OFFICE (SECO), 2016 See SECO website for Texas Water Conservation Design Standards, Requirements and SECO Compliance Certification / Reporting Form
D. ACCESSIBILITY CODES	1. US DEPT. OF JUSTICE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN 2. ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES, OUTDOOR DEVELOPED AREAS, NOVEMBER 25, 1993 3. 2012 TEXAS ACCESSIBILITY STANDARDS, ELIMINATION OF ARCHITECTURAL BARRIERS, TEXAS GOVERNMENT CODE, CHAPTER 469
E. PLAYGROUND SAFETY CODE	1. ASTM F1487-17, STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATIONS FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE 2. ASTM F2223-15, STANDARD GUIDE FOR ASTM STANDARDS ON PLAYGROUND SURFACING

**SCOPE OF WORK**

CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, TOOLS, MATERIALS, AND INCIDENTALS NECESSARY FOR THE FOLLOWING WORK:

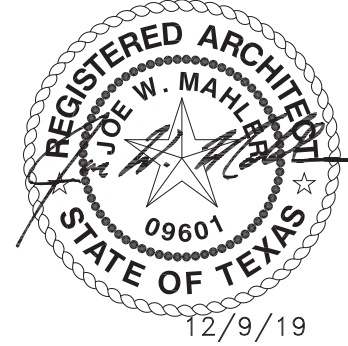
- REMOVE EXISTING BUILT-UP ROOF TO DECK AND INSTALL NEW MODIFIED BITUMEN ROOF.
- REMOVE AND REBUILD THE SHED ADDITION.



**TEXAS PARKS AND WILDLIFE**

**INFRASTRUCTURE DIVISION**

4200 SMITH SCHOOL ROAD · AUSTIN, TEXAS 78744-3292



RELEASED FOR SOLICITATION	
PROJECT MANAGER, INFRASTRUCTURE DIVISION	5/20/2020 DATE
DESIGN BRANCH MANAGER, INFRASTRUCTURE DIVISION	5/27/20 DATE



ABBREVIATIONS			
ACoust	ACOUSTICAL	LAM	LAMINATE
AFF	ABOVE FINISHED	LAV	LAVATORY
		LB	POUND
ADD	ADDITION	LBL	LABEL
ADJ	ADJUSTABLE	LWT	LIGHTWEIGHT
A/C	AIR CONDITIONING		
ALT	ALTERNATE		
ALUM	ALUMINUM	MACH	MACHINE
APPROX	APPROXIMATE	MAINT	MAINTENANCE
APPVD	APPROVED	MATL	MATERIAL
ARCH	ARCHITECT	MAX	MAXIMUM
AVE	AVENUE	MBR	MEMBER
		MC	MEDICINE CABINET
BD	BOARD	MECH	MECHANICAL
BETW	BETWEEN	MEP	MECHAN/ELECT/PLUMB
BLDG	BUILDING	MFR	MANUFACTURER
BLKG	BLOCKING	MGR	MANAGER
BM	BEAM, OR	MIN	MINIMUM
	BENCH MARK	MISC	MISCELLANEOUS
BOT	BOTTOM	MK	MARK
BRZ	BRONZE	MLDG	MOULDING
BSMT	BASEMENT	MO	MASONRY OPENING
		MSNRY	MASONRY
C TO C	CENTER TO CENTER	MTD	MOUNTED
CAB	CABINET	MTL	METAL
CER	CERAMIC	MUL	MULLION
CJ	CONSTRUCTION JOINT/	MW	MICROWAVE
	CONTROL JOINT		
CL	CENTER LINE	NIC	NOT IN CONTRACT
CLG	CEILING	NO	NUMBER
CLR	CLEAR	NOM	NOMINAL
CLOS	CLOSET	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY		
	UNIT	OA	OVERALL
CO	CLEANOUT	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OH	OPPOSITE HAND
CONSTR	CONSTRUCTION	OPNG	OPENING
CONT	CONTINUOUS	OPP	OPPOSITE
CONTD	CONTINUED	ORIG	ORIGINAL
CONTR	CONTRACTOR	OVHD	OVERHEAD
COR	CONTRACTING	OZ	OUNCE
	OFFICER'S		
	REPRESENTATIVE		
CTR	CENTER	PART	PARTIAL
CW	COLD WATER	PART BD	PARTICLE BOARD
		PL	PROPERTY LINE
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DET	DETAIL	PLMB	PLUMBING
DF	DRINKING FOUNTAIN	PLYWD	PLYWOOD
DIA	DIAMETER	PREFAB	PREFABRICATED
DIAG	DIAGONAL	PR	PAIR
DIM	DIMENSION	PROP	PROPERTY
DIV	DIVISION	PSI	POUNDS PER SQ IN
DEMO	DEMOLITION	PTD	PAINTED
DN	DOWN		
DR	DOOR	RA	RETURN AIR
DS	DOWNSPOUT	RAD	RADIUS
DWG	DRAWING	RAG	RETURN AIR GRILL
DWR	DRAWER	RE	REFER
EA	EACH	REC	RECESSED
ELEV	ELEVATION	RECEPT	RECEPTACLE
ELEC	ELECTRICAL	RECT	RECTANGULAR
ENCL	ENCLOSURE	RELOC	RELOCATED
ENGR	ENGINEER	REQD	REQUIRED
EQ	EQUAL	REP	REPRESENTATIVE
EQUIP	EQUIPMENT	RESIL	RESILIENT
ETC	AND SO FORTH	REV	REVISION
EW	ELECTRIC WATER	RH	RIGHT HAND
	COOLER	RM	ROOM
		RND	ROUND
		RO	ROUGH OPENING
		RTN	RETURN
EXH	EXHAUST		
EXTG	EXISTING		
EXP	EXPOSED	SC	SOLID CORE
EXT	EXTERIOR	SCHED	SCHEDULE
FD	FLOOR DRAIN	SECT	SECTION
FE	FIRE EXTINGUISHER	SEQ	SEQUENCE
FEC	FIRE EXTINGUISHER	SF	SQUARE FEET
	CABINET	SGL	SINGLE
FED	FEDERAL	SH	SHEET
FF	FINISHED FLOOR	SIM	SIMILAR
FV	FIELD VERIFY	SPEC	SPECIFICATION
		SO	SQUARE
FHC	FIRE HOSE CABINET	SS	STAINLESS STEEL
FL	FLOW LINE	STD	STANDARD
FLR	FLOOR	STL	STEEL
FPRF	FIREPROOF	STOR	STORAGE
FR	FRAME	STRUCT	STRUCTURAL
FTG	FOOTING	SURF	SURFACE
FURR	FURRING	SUSP	SUSPENDED
FW	FIRE WALL		
FXT	FIXTURE	TECH	TECHNICAL
		TELE	TELEPHONE
GA	GAUGE	THK	THICK (NESS)
GALV	GALVANIZED	THRU	THROUGH
GEN	GENERAL	TYP	TYPICAL
GFE	GOVERNMENT		
	FURNISHED EQUIPMENT		
GFM	GOVERNMENT	UNFIN	UNFINISHED
	FURNISHED MATERIAL	UNO	UNLESS NOTED OTHERWISE
GL	GLASS		
GOVT	GOVERNMENT		
GRL	GRILLE	VENT	VENTILATE
GYP	GYP SUM	VERT	VERTICAL
GYP BD	GYP SUM BOARD	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR		
		VET	VINYL ENHANCED TILE
HDWR	HARDWARE	VOL	VOLUME
HM	HOLLOW METAL	VWC	VINYL WALLCOVERING
HORIZ	HORIZONTAL		
HT	HEIGHT		
HTR	HEATER	WD	WOOD
HWD	HARDWOOD	WH	WATER HEATER
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	WHSE	WAREHOUSE
		WP	WATERPROOF
HW	HOT WATER	W	WITH
HWH	HOT WATER HEATER	W/O	WITHOUT
		WT	WEIGHT
ID	INSIDE DIAMETER		
INSUL	INSULATION		
INTR	INTERIOR	YD	YARD
JAN	JANITOR		
JT	JOINT		

DRAWING SYMBOL LEGEND	
	COLUMN GRID
	EXISTING WALLS BELOW THE ROOF
	ROOM NAMES AND NUMBERS
	ELEVATION MARK
	DETAIL MARK
	SECTION
	AREA OF WORK
	ENLARGED DETAIL CALL-OUT
	REVISION REFERENCE, CLOUDED AREA REVISED

GENERAL DEMOLITION NOTES	
1.	ANY ITEM WHICH IS DESIGNATED TO REMAIN AND IS LOST OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
2.	PROMPTLY REPAIR ADJACENT SURFACES DAMAGED BY DEMOLITION OPERATIONS.
3.	REMOVE DEMOLISHED MATERIALS AND DEBRIS FROM THE SITE IN A MANNER APPROVED BY THE PROJECT MANAGER. TRANSPORT AND LEGALLY DISPOSE OFF MATERIALS AT AN APPROVED OFF SITE LOCATION.
4.	UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE SITE CLEAN.
5.	REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

EXISTING CONDITIONS	
1.	CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, SLOPES, AREAS, AND CONDITIONS. DIMENSIONS AND AREAS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
2.	DRAWINGS IN THIS SET ARE NOT TO BE CONSIDERED MEASURED DRAWINGS OF AS-CONSTRUCTED CONDITIONS.
3.	FIELD MEASUREMENTS WILL BE REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL OBTAIN ALL FIELD MEASUREMENTS AS NECESSARY TO FABRICATE ITEMS OF WORK AND TO COMPLETE THE WORK DEPICTED IN THE CONSTRUCTION DOCUMENTS.
4.	IF CONDITIONS ARE ENCOUNTERED WHICH DIFFER FROM CONDITIONS SHOWN OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, TO INCLUDE BUT NOT BE LIMITED TO DETERIORATED MATERIALS, OR DIFFERENT CONCEALED MATERIALS, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND SHALL NOT PROCEED WITH ADDITIONAL WORK WITHOUT WRITTEN AUTHORIZATION.

EXISTING MATERIALS NOTES	
1.	EXISTING ROOFING MATERIAL IS BUILT UP ROOF ON FIBER BOARD SUBSTRATE ON METAL DECKING. ON THE ADDITION, EXISTING ROOFING MATERIAL IS CORRUGATED METAL PANEL.
2.	EXISTING FLASHING IS SHEET METAL.
3.	EXISTING WALLS ARE CONCRETE MASONRY BLOCKS.

PROPOSED MATERIALS NOTES	
1.	NEW ROOFING MATERIAL SHALL BE 4-PLY MODIFIED BITUMEN ROOF, ON COVER BOARD, ON TAPERED INSULATION.
2.	NEW ROOFING MATERIAL ON THE ADDITION SHALL BE EXPOSED FASTENER METAL PANELS.
3.	NEW FLASHING SHALL BE PREFINISHED GALVANIZED STEEL METAL FLASHING .
4.	ALL NEW ROOFING SHALL BE CAPABLE OF RESISTING WIND SPEED OF 106 Vmph per ASCE 7, RISK CATEGORY II.
5.	NEW ADDITION SHALL BE A WOOD AND CONCRETE MASONRY UNITS STRUCTURE, WITH BOARD AND BATTEN FIBER CEMENT SIDING.
6.	REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SUBMITTALS TABLE								
REQUIRED SUBMITTALS PRIOR TO INSTALLATION								
MATERIAL/ PRODUCT	MANUF.'S PRODUCT INFO	INSTALLATION INSTRUCTIONS	SAFETY DATA SHEETS	SAMPLE	LEGIBLE PHOTO OF THE MATERIAL	SHOP DRAWINGS	MANUF.'S SAMPLE WARRANTY	OTHER /NOTES
ROOF DECKING	●	●	●					
FLASHINGS	●	●				●		
EXPOSED FASTENER METAL PANEL	●	●	●	●			●	PROVIDE SAMPLES TO CONSTRUCTION MANAGER FOR APPROVAL
FASTENERS FOR METAL PANELS	●	●						
ROUGH CARPENTRY	●	●						
LVL HEADER BEAM	●	●				●		
HANGER CLIPS FOR JOISTS	●	●						
ANCHOR BOLTS FOR CMU-SOLE PLATE CONNECTIONS	●	●						
MODIFIED BIT, ROOFING MATERIAL	●	●		●		●	●	
INSULATION	●	●					●	
COVER BOARD	●	●					●	
CMU BLOCK	●	●						
MORTAR	●	●						
GARAGE DOOR	●	●				●	●	
SIDING	●	●		●			●	
CAULKS AND ADHESIVES	●	●						
BACKER ROD	●	●						
PAINT	●	●						

SUBMITTAL NOTES:  
1. SUBMIT WITH SIGNED TPWD SUBMITTAL COVERSHEET.  
2. SUBMIT EITHER INDIVIDUAL SUBMITTALS PER EACH ITEM, OR A COMBINED SUBMITTAL PER EACH LINE ITEM.  
3. A SUBMITTAL IS REQUIRED PER EACH ITEM NOTED, IF CONTRACTOR HAS DIFFICULTY OBTAINING INFORMATION FOR AN ITEM, PLEASE NOTIFY ARCHITECT.

TEXAS

PARKS & WILDLIFE

BIG SPRING STATE PARK

MAINTENANCE SHOP ROOF REPLACEMENT

PROJECT NUMBER:MR10418

DATE: 12-9-2019

DESIGN BY: JWB

DRAWN BY: HFRZ

REVIEW BY: JWB

REVISED:

REVISED:

SHEET TITLE

ABBREVIATIONS, NOTES & SUBMITTALS

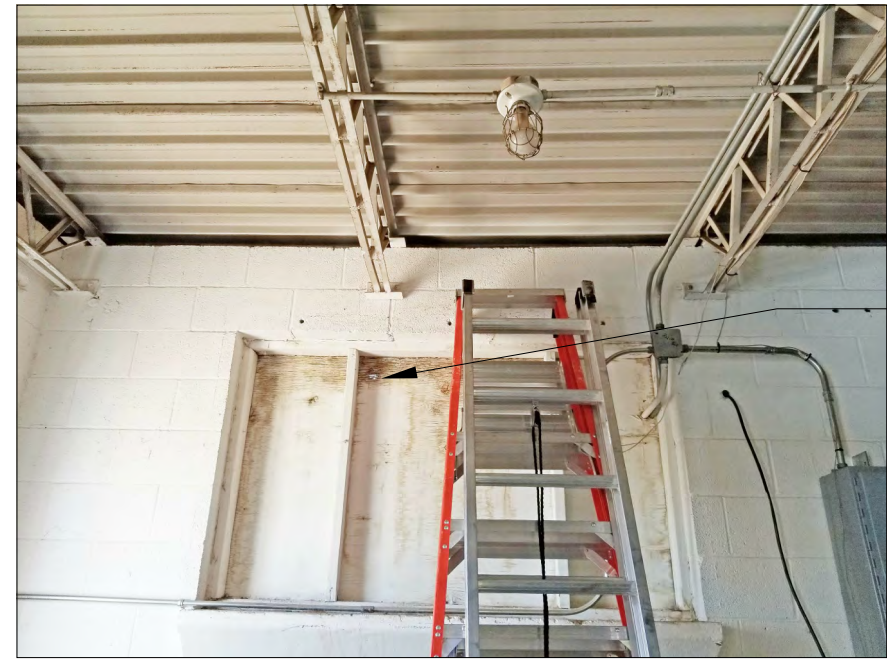
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A0

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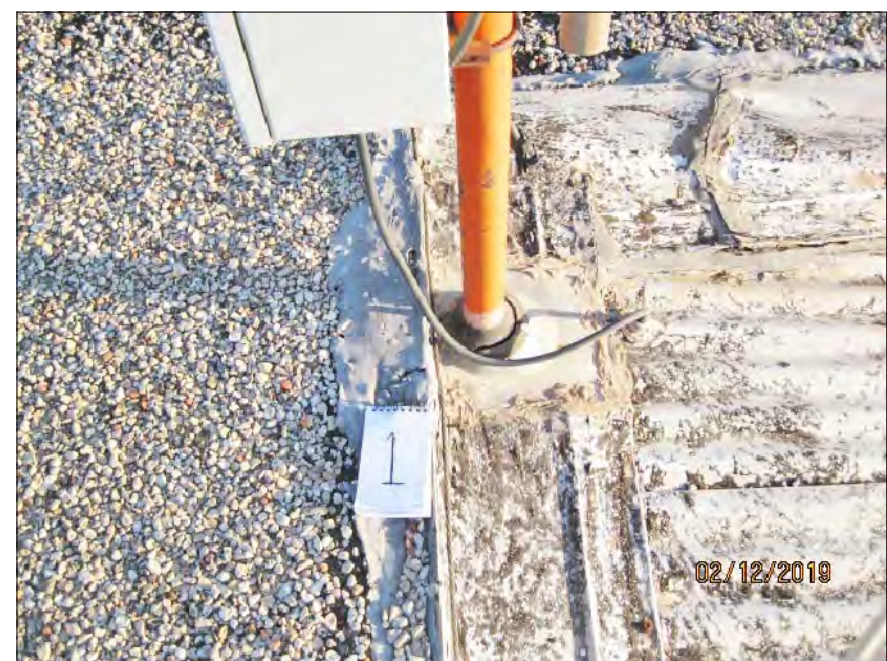


SEE CLEARER PHOTOS  
IN BID DOCUMENTS



REMOVE EXISTING STUD WALL  
AND REPLACE WITH CMU BLOCKS

H INTERIOR VIEW AT WINDOW



F ROOF VIEW AT EXISTING ROOF PENETRATION



REMOVE AND DISCARD METAL  
ROOF AND WOOD STRUCTURE  
BELOW

D SOUTH VIEW OF MAINTENANCE SHOP

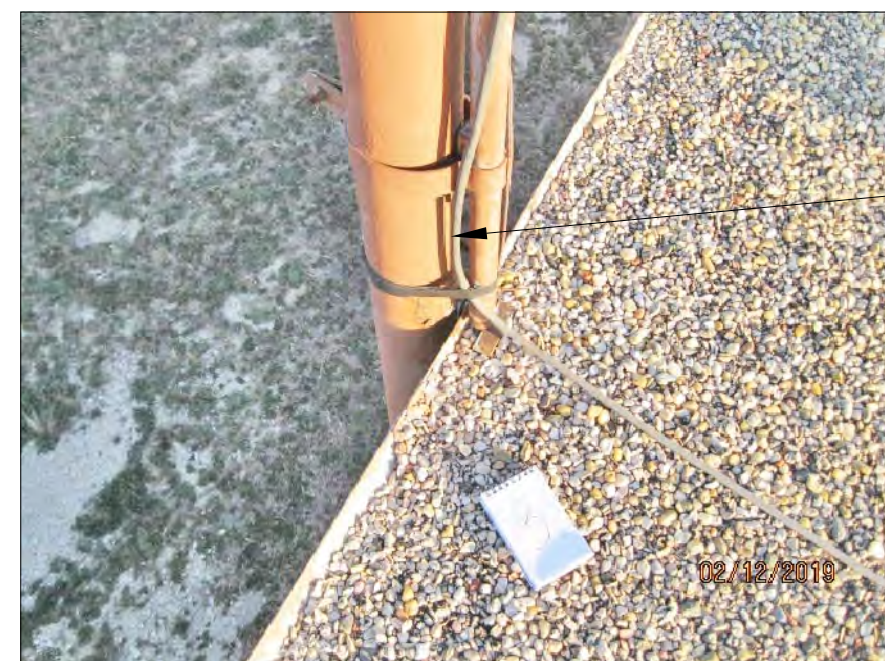


B WEST VIEW OF MAINTENANCE SHOP



EXISTING STACK VENT TO BE  
REMOVED AND DISCARDED.  
ENSURE VENT STACK IS NOT  
BEING USED BEFORE REMOVAL.

G VIEW AT EXISTING VENT STACK



EXISTING WALL MOUNTED  
ANTENNA TO BE REMOVED AND  
PROPERLY INSTALLED WITH  
UNISTRUT WALL SYSTEM.

E VIEW AT EXISTING ANTENNA SUPPORT



REMOVE ANTENNA AND RETURN  
TO OWNER.

REMOVE AND DISCARD METAL  
ROOF AND WOOD STRUCTURE  
BELOW

C ROOF VIEW AT EXISTING METAL ROOFING

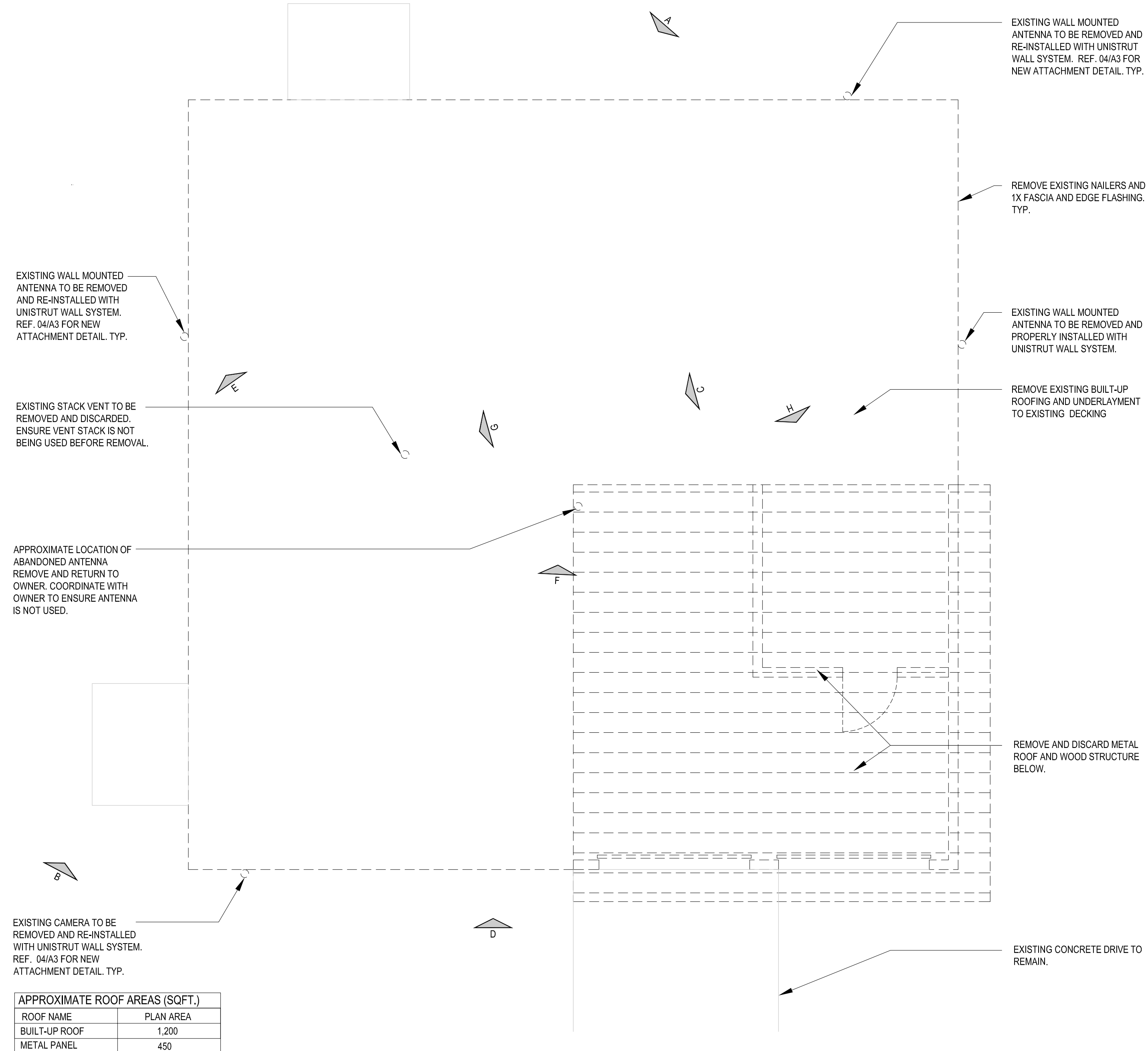


A NORTH VIEW OF MAINTENANCE SHOP

SCALE:  
N.T.S.

MAINTENANCE SHOP  
PHOTOS

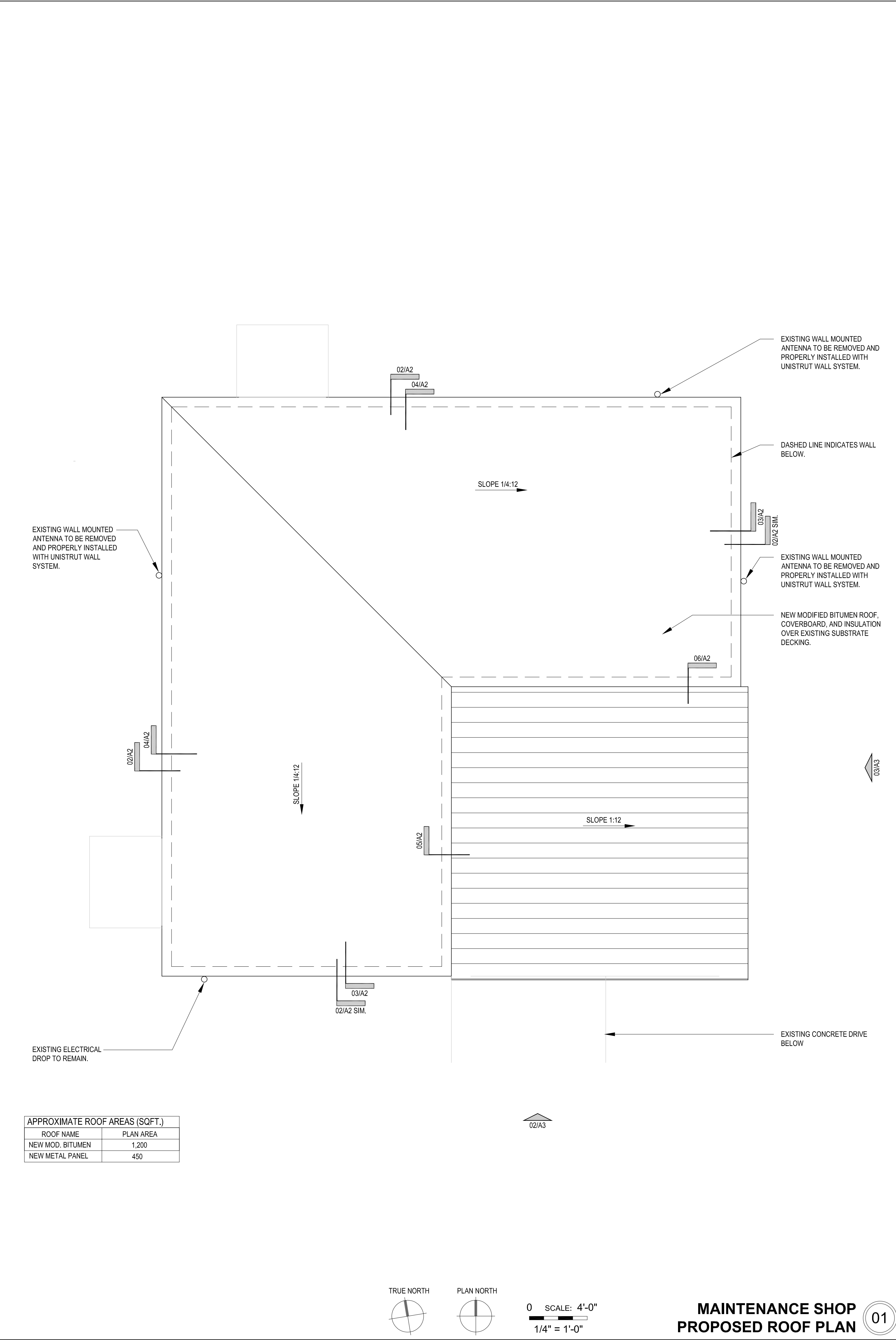
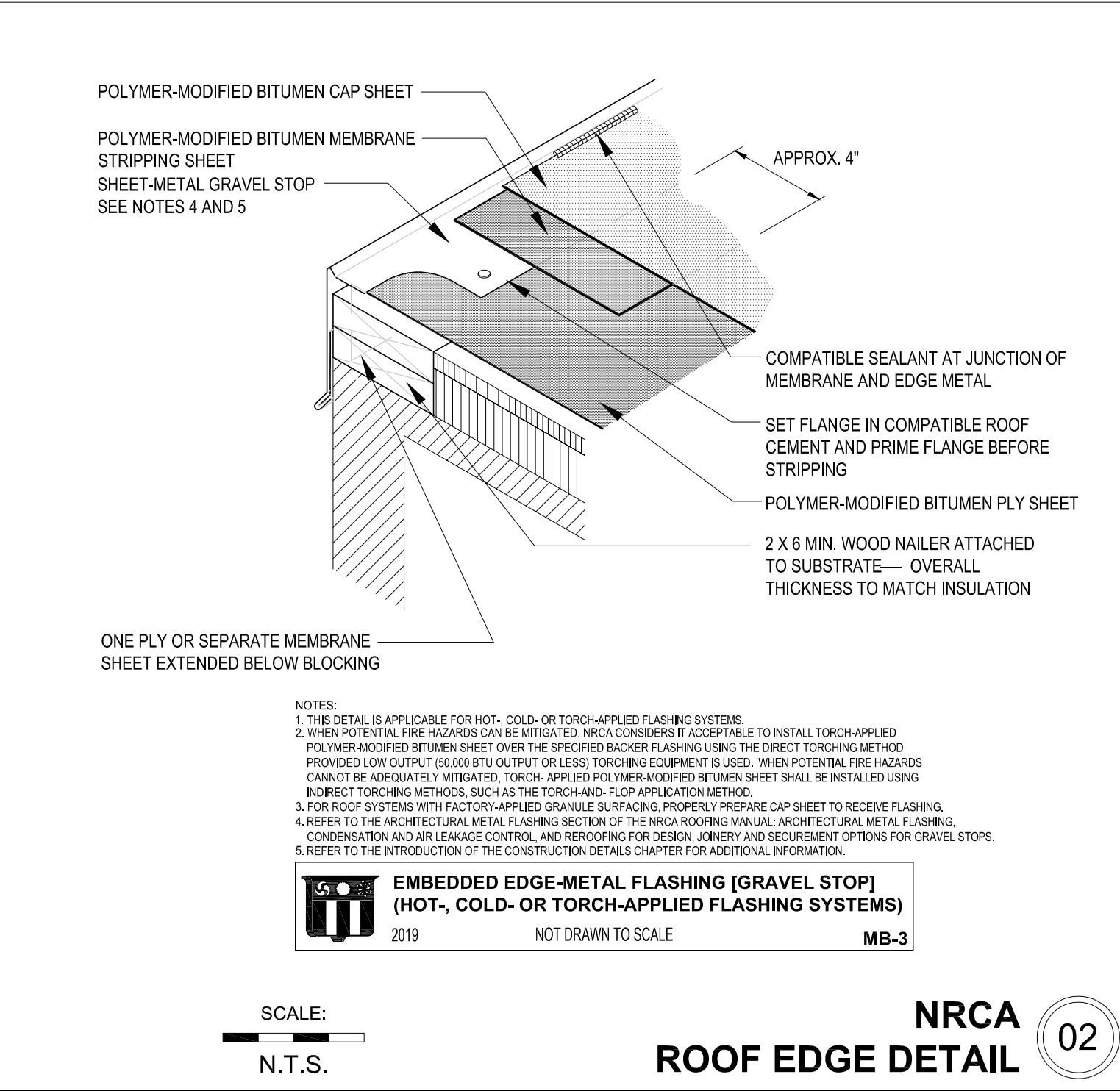
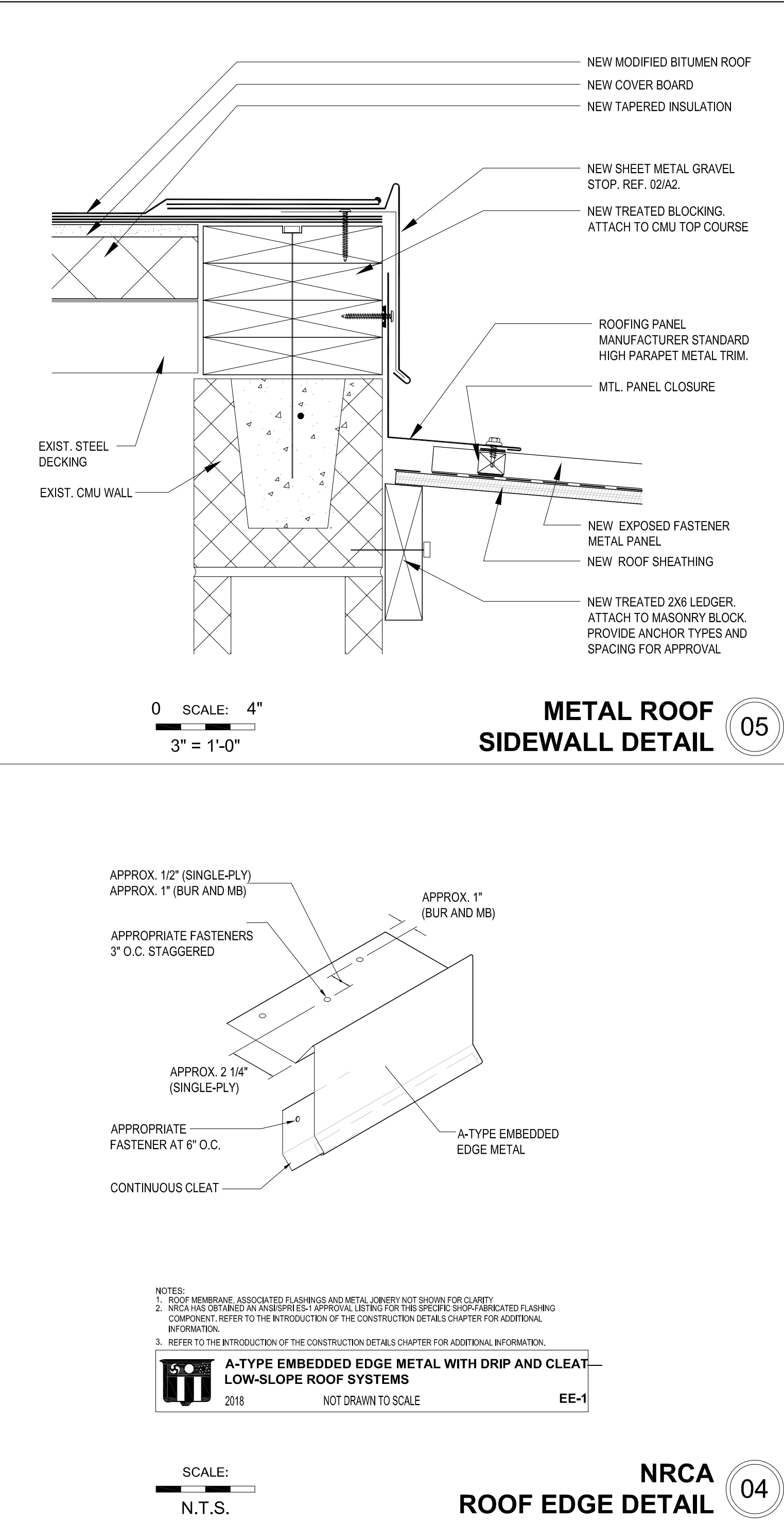
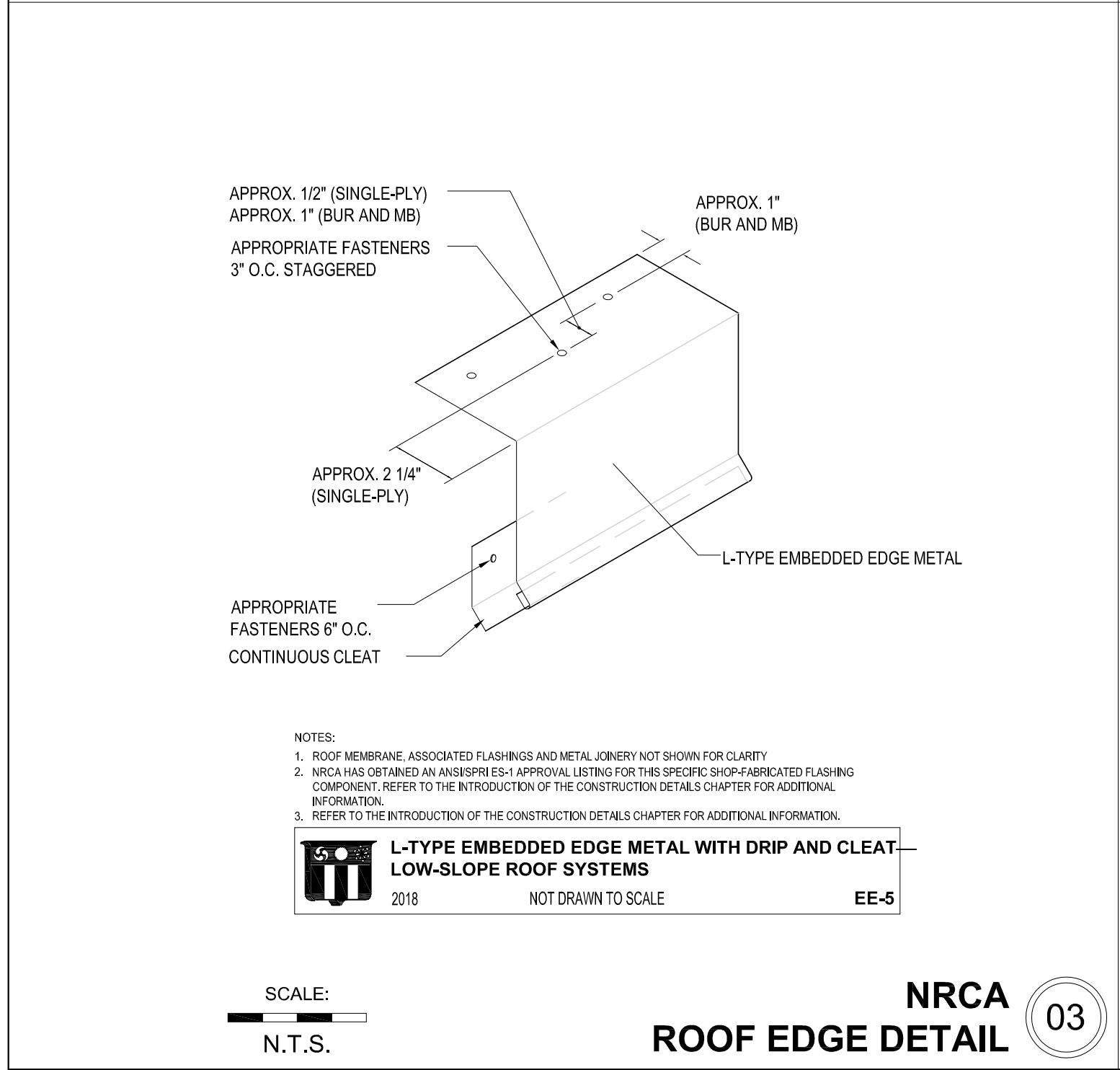
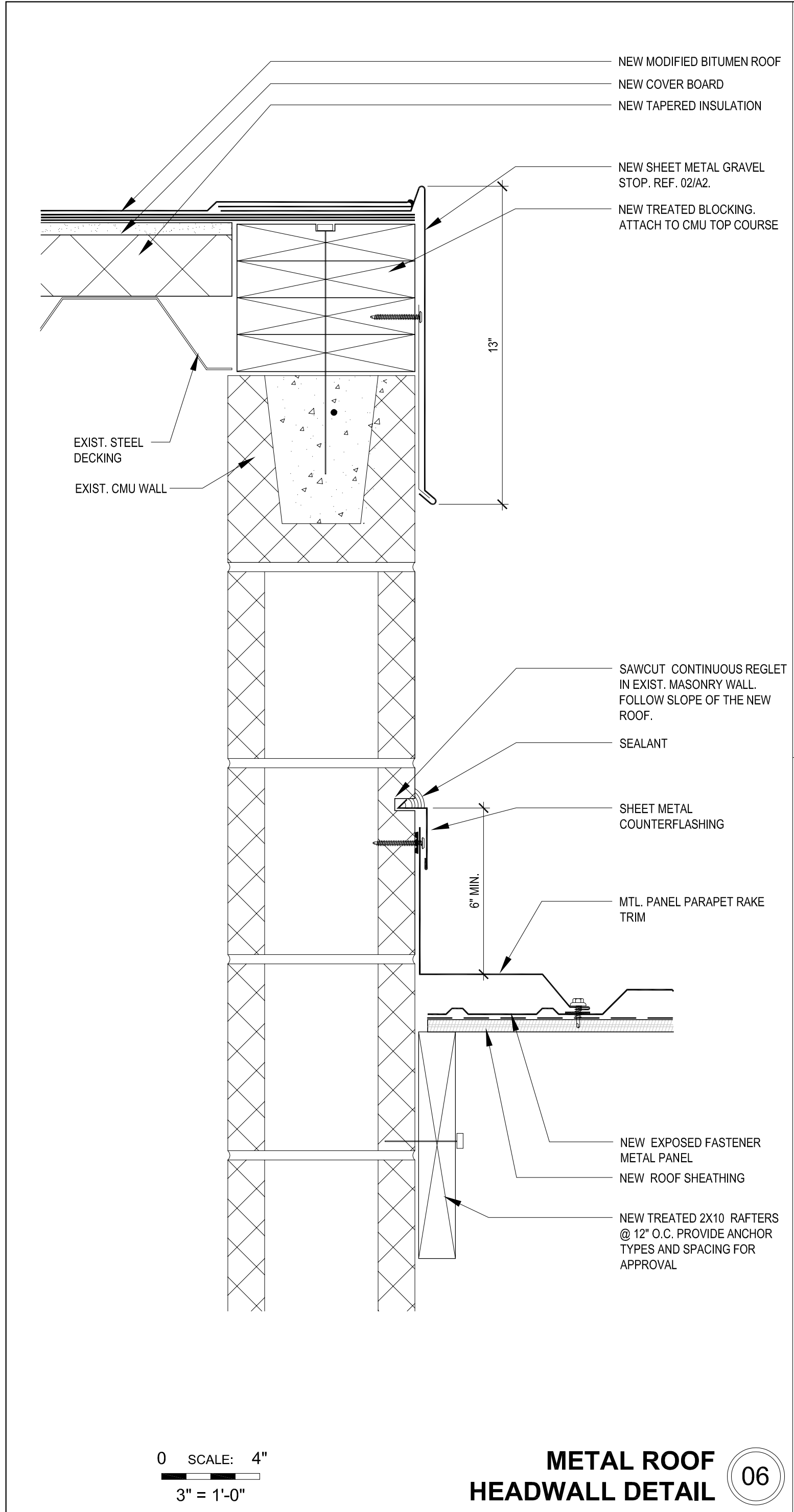
02



MAINTENANCE SHOP  
DEMOLITION ROOF PLAN

01





**TEXAS**  
PARKS &  
WILDLIFE

REGISTERED ARCHITECT  
J. W. MAHLE  
09601  
STATE OF TEXAS  
12/9/19

**PDG**  
ARCHITECTS

**BIG SPRING STATE PARK**  
**MAINTENANCE SHOP ROOF REPLACEMENT**  
PROJECT NUMBER:MR10418

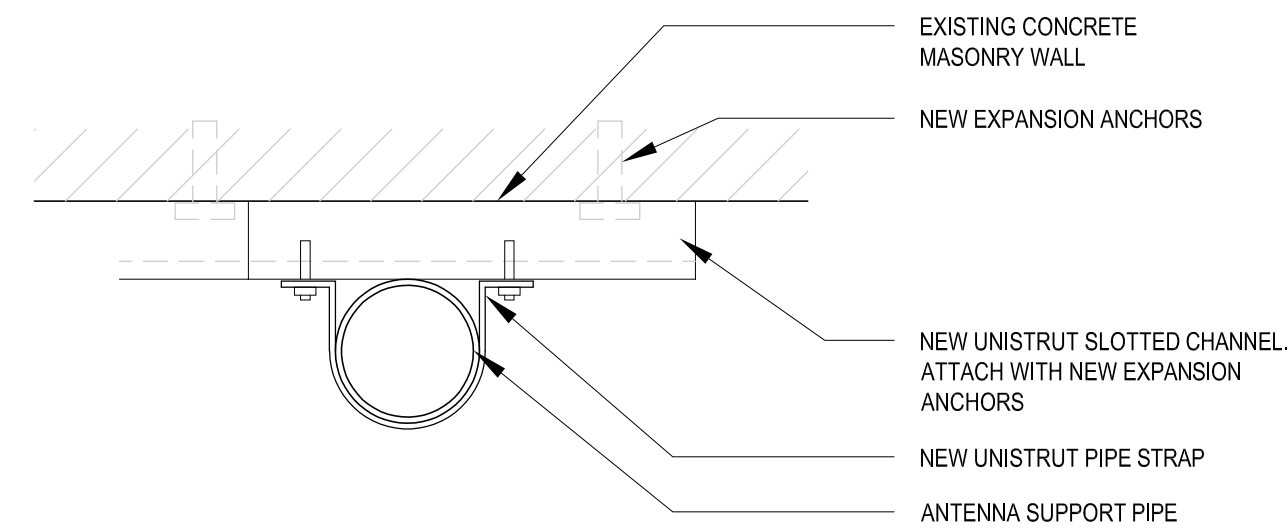
DATE: 12-9-2019  
DESIGN BY: JWB  
DRAWN BY: HF/RZ  
REVIEW BY: JWB  
REVISED:  
REVISED:

**SHEET TITLE**  
PROPOSED  
ROOF  
PLAN & DETAILS

SHEET NUMBER  
**A2**

PERCENTAGE: 100% CONSTRUCTION DOCUMENTS



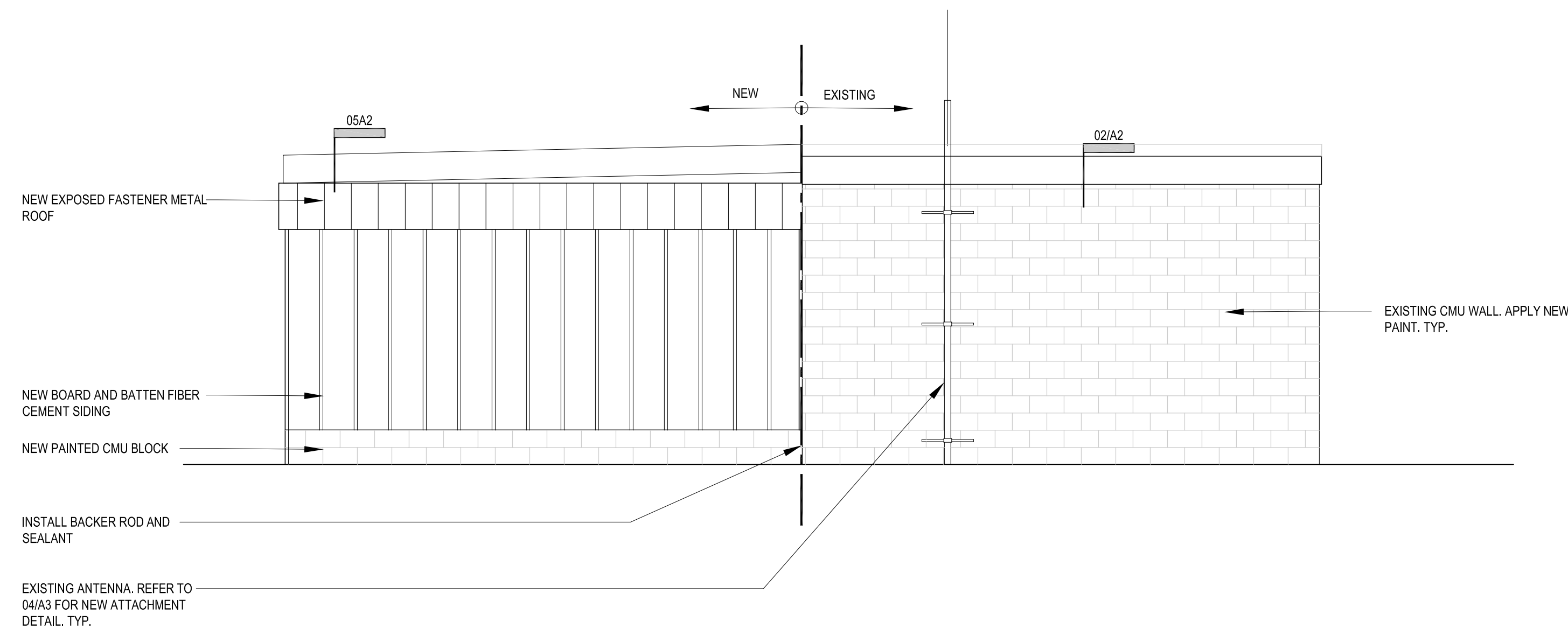


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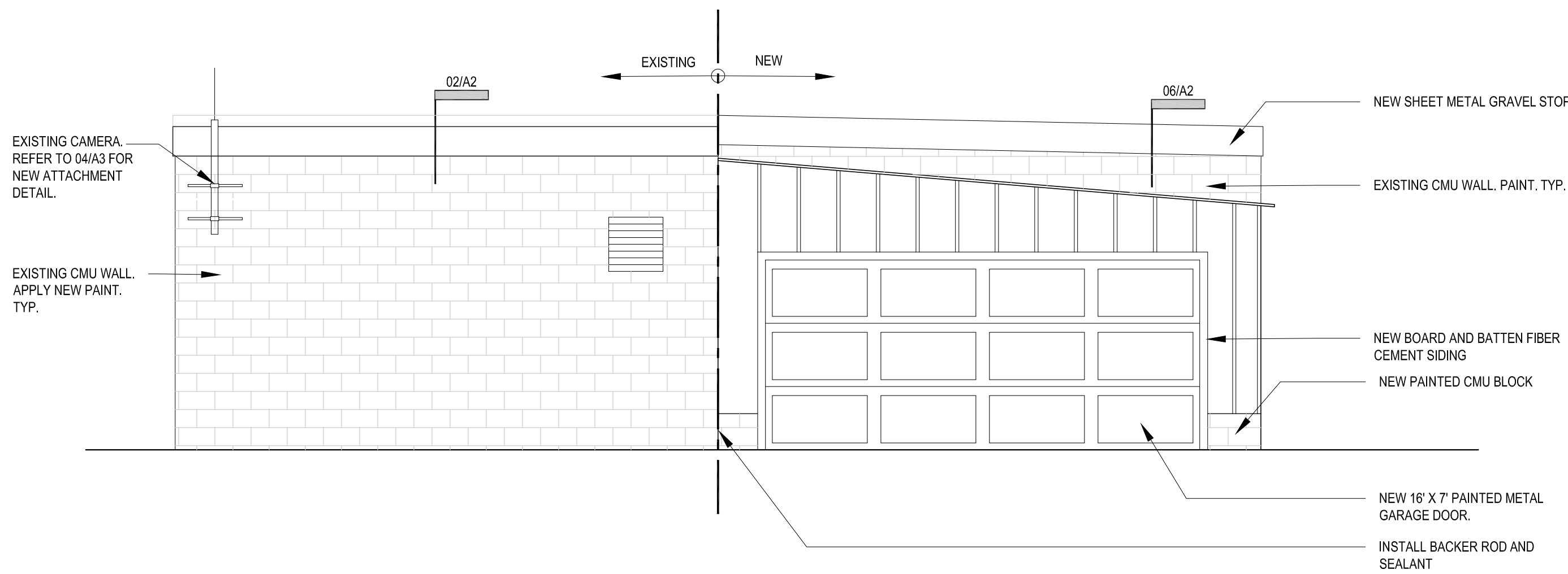
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3" = 1'-0"

DETAIL AT  
ANTENNA SUPPORT 04



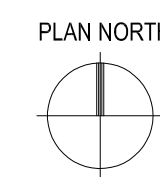
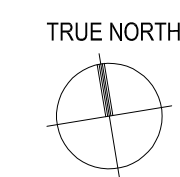
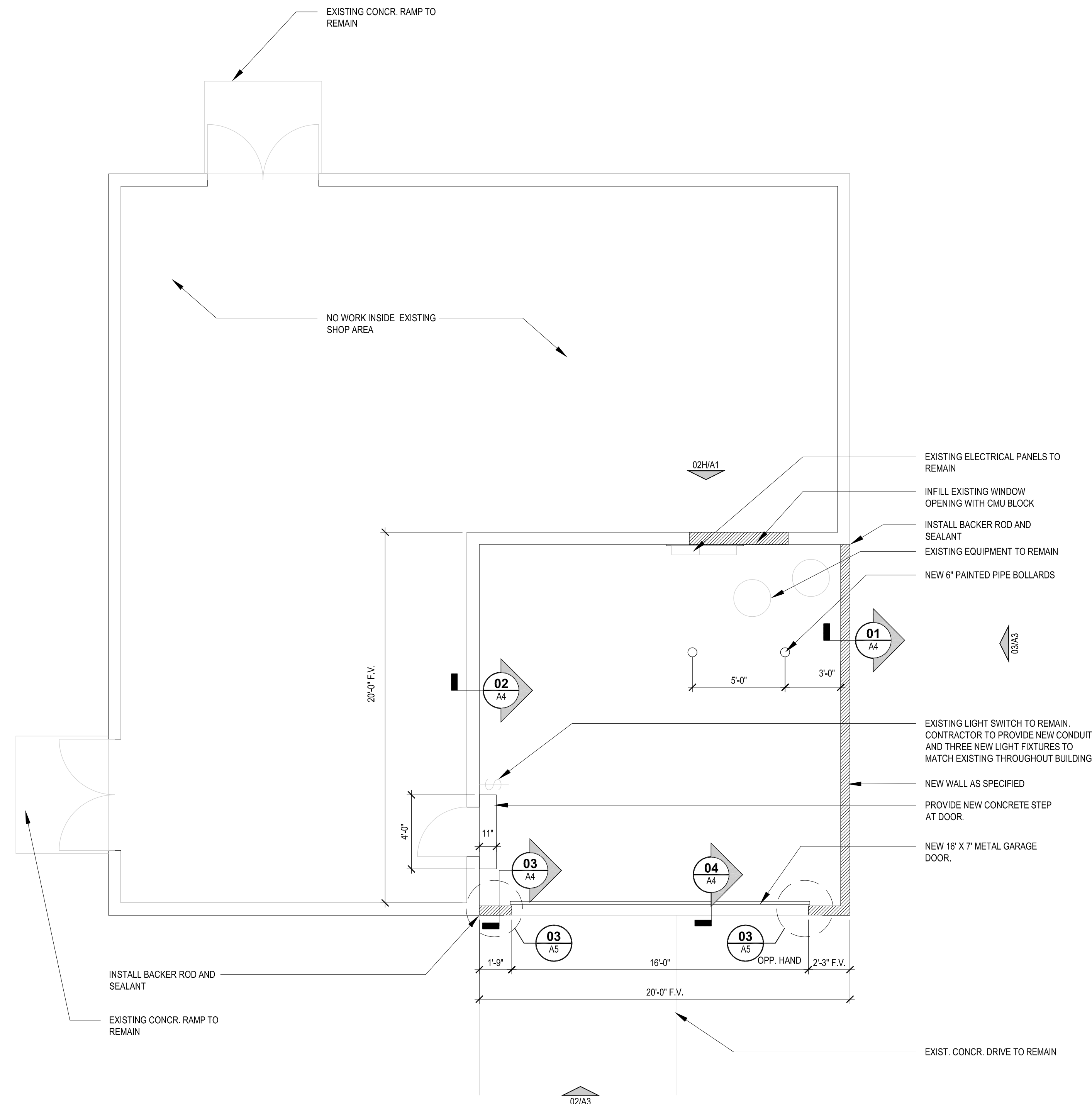
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1/4" = 1'-0"

MAINTENANCE SHOP  
EAST ELEVATION 03



0 SCALE: 4'-0"  
1/4" = 1'-0"

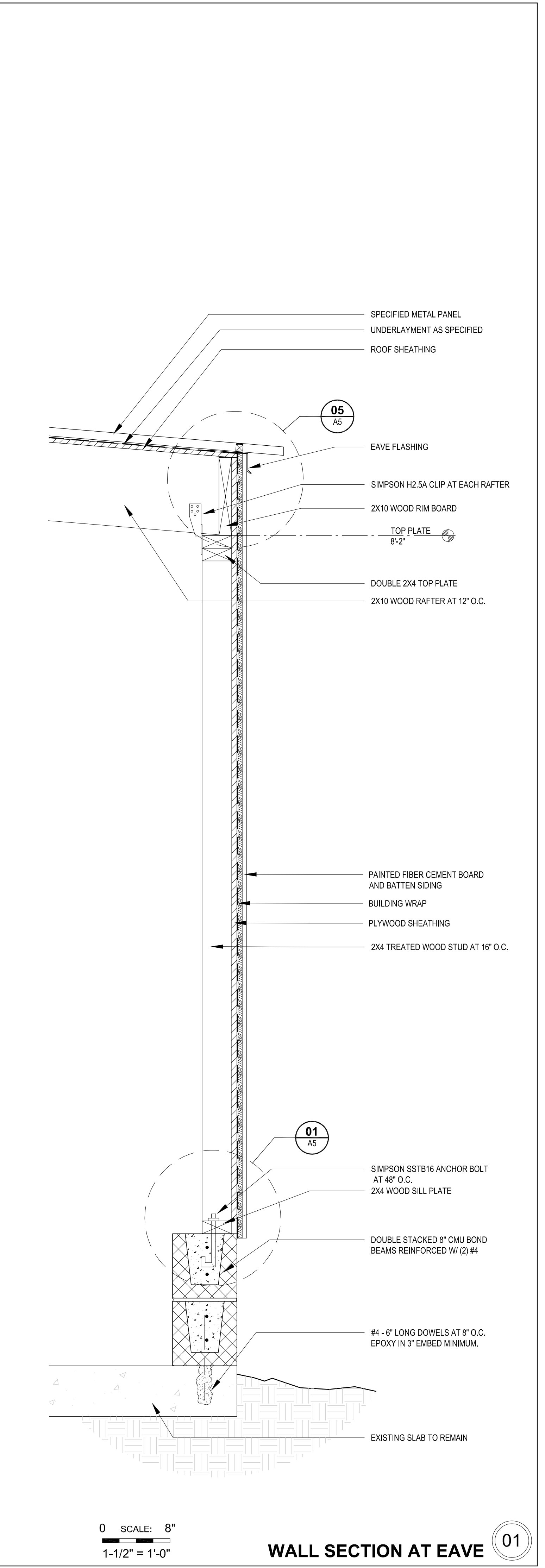
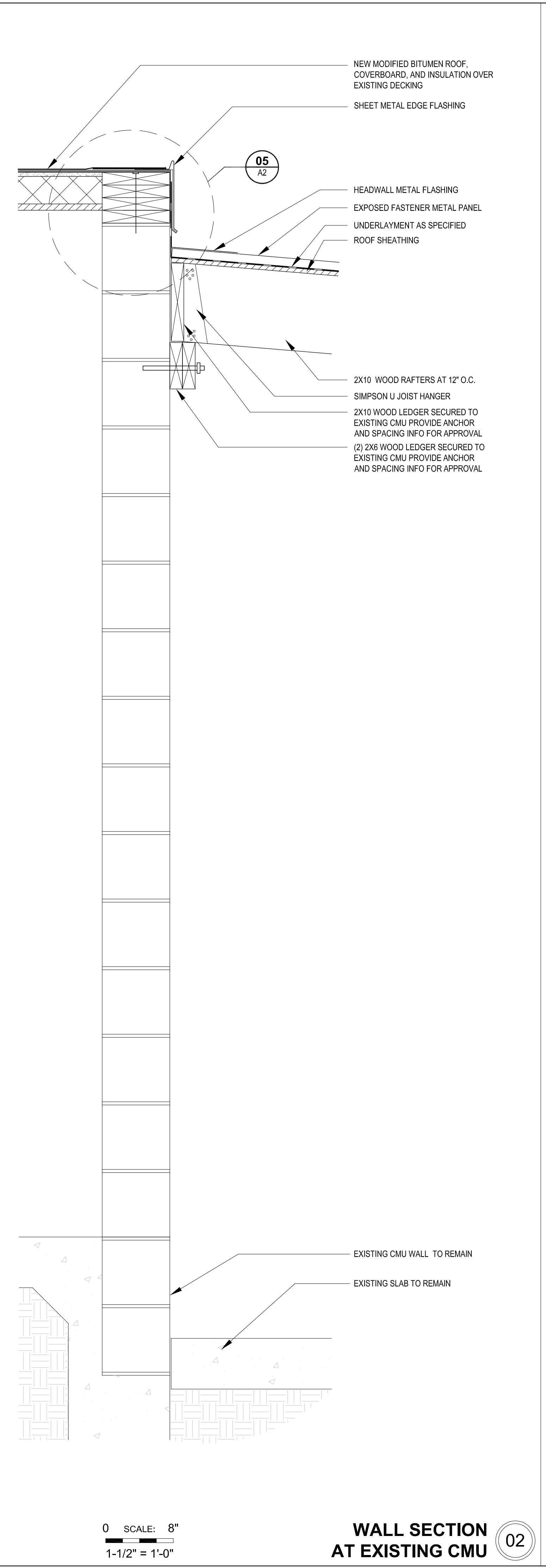
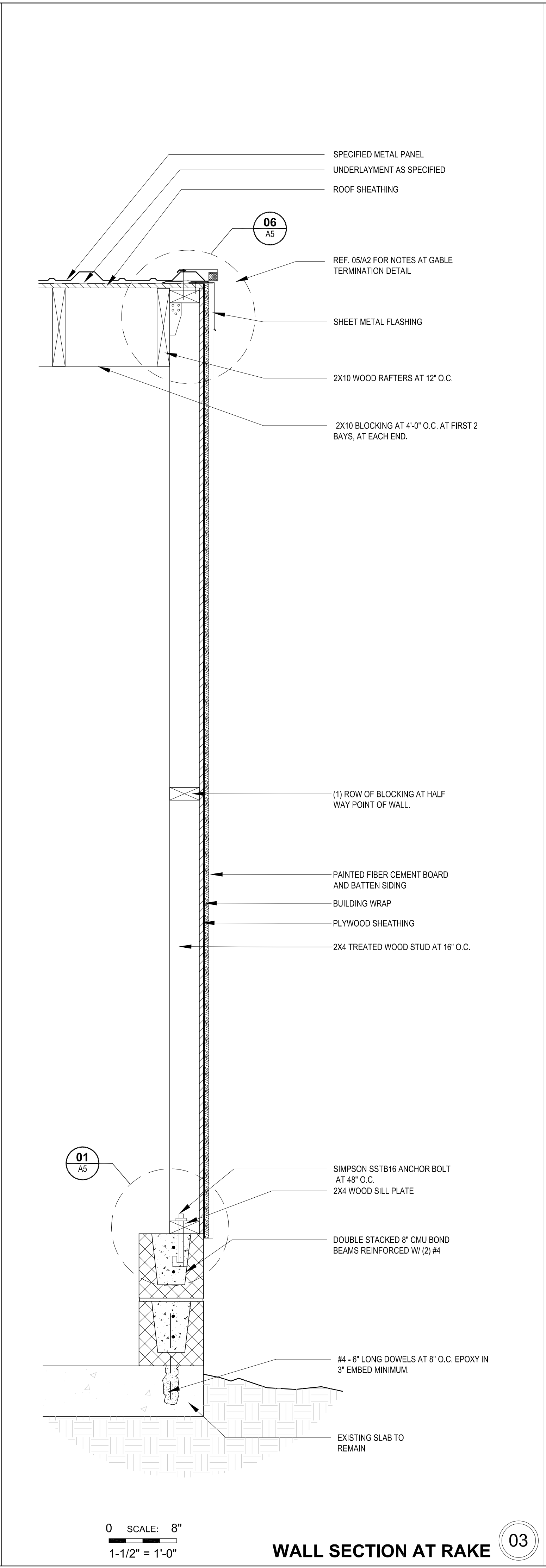
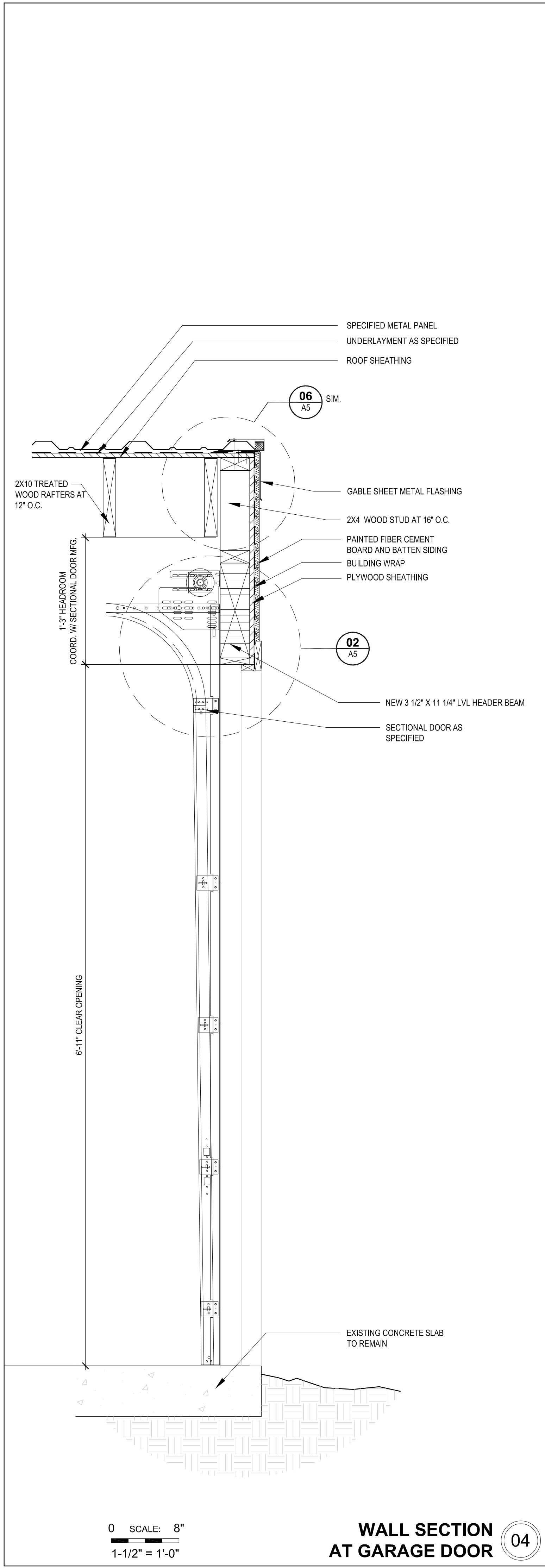
MAINTENANCE SHOP  
SOUTH ELEVATION 02



0 SCALE: 4'-0"  
1/4" = 1'-0"

MAINTENANCE SHOP  
PROPOSED FLOOR PLAN 01





TEXAS  
PARKS &  
WILDLIFE

REGISTERED ARCHITECT  
J. W. MAHLE  
09601  
STATE OF TEXAS  
12/9/19

PDG  
ARCHITECTS

BIG SPRING STATE PARK  
MAINTENANCE SHOP ROOF REPLACEMENT  
PROJECT NUMBER:MR10418

DATE: 12-9-2019  
DESIGN BY: JWB  
DRAWN BY: HFRZ  
REVIEW BY: JWB  
REVISED:  
REVISED:

SHEET TITLE  
WALL SECTIONS

SHEET NUMBER  
A4

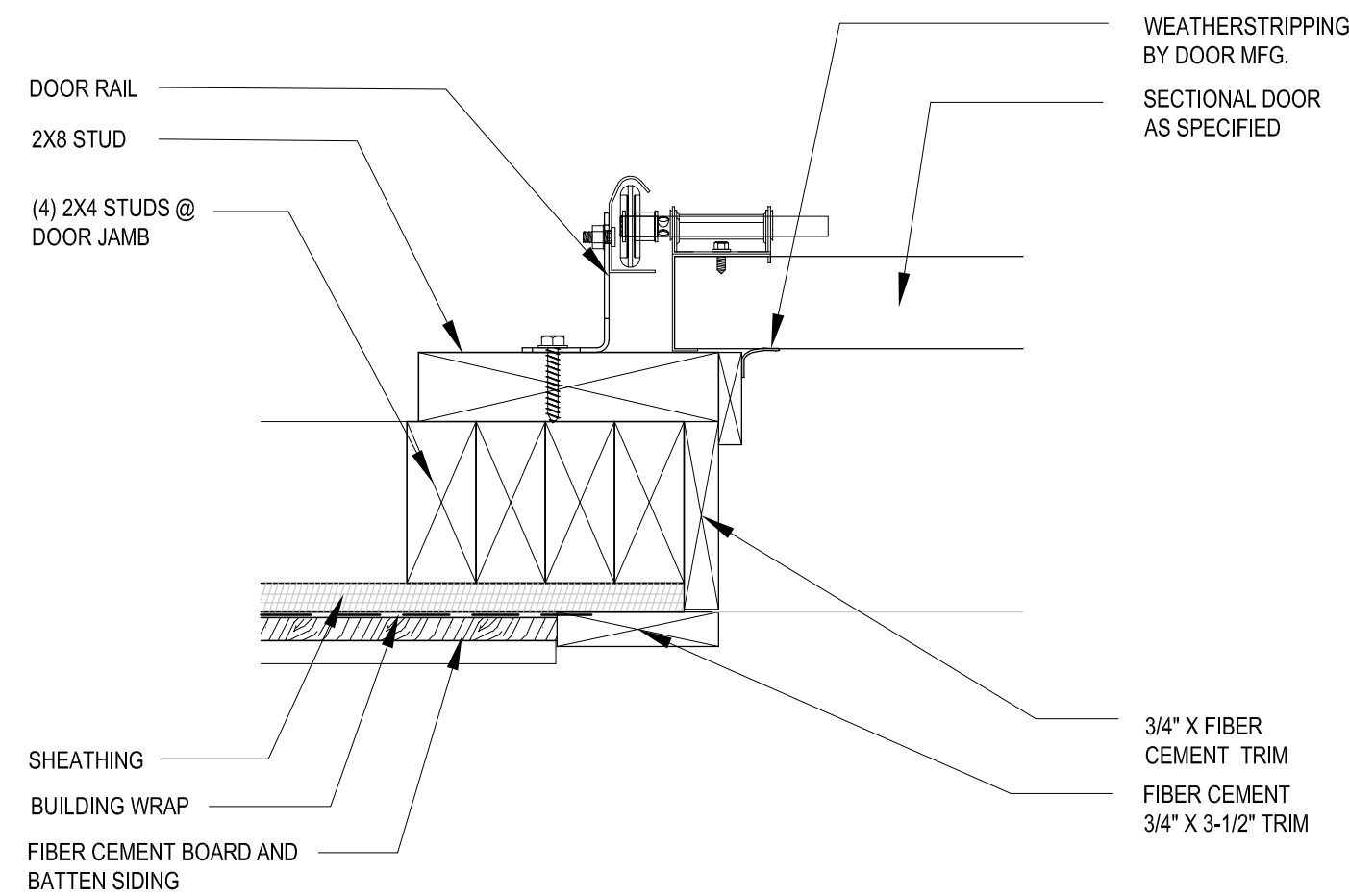
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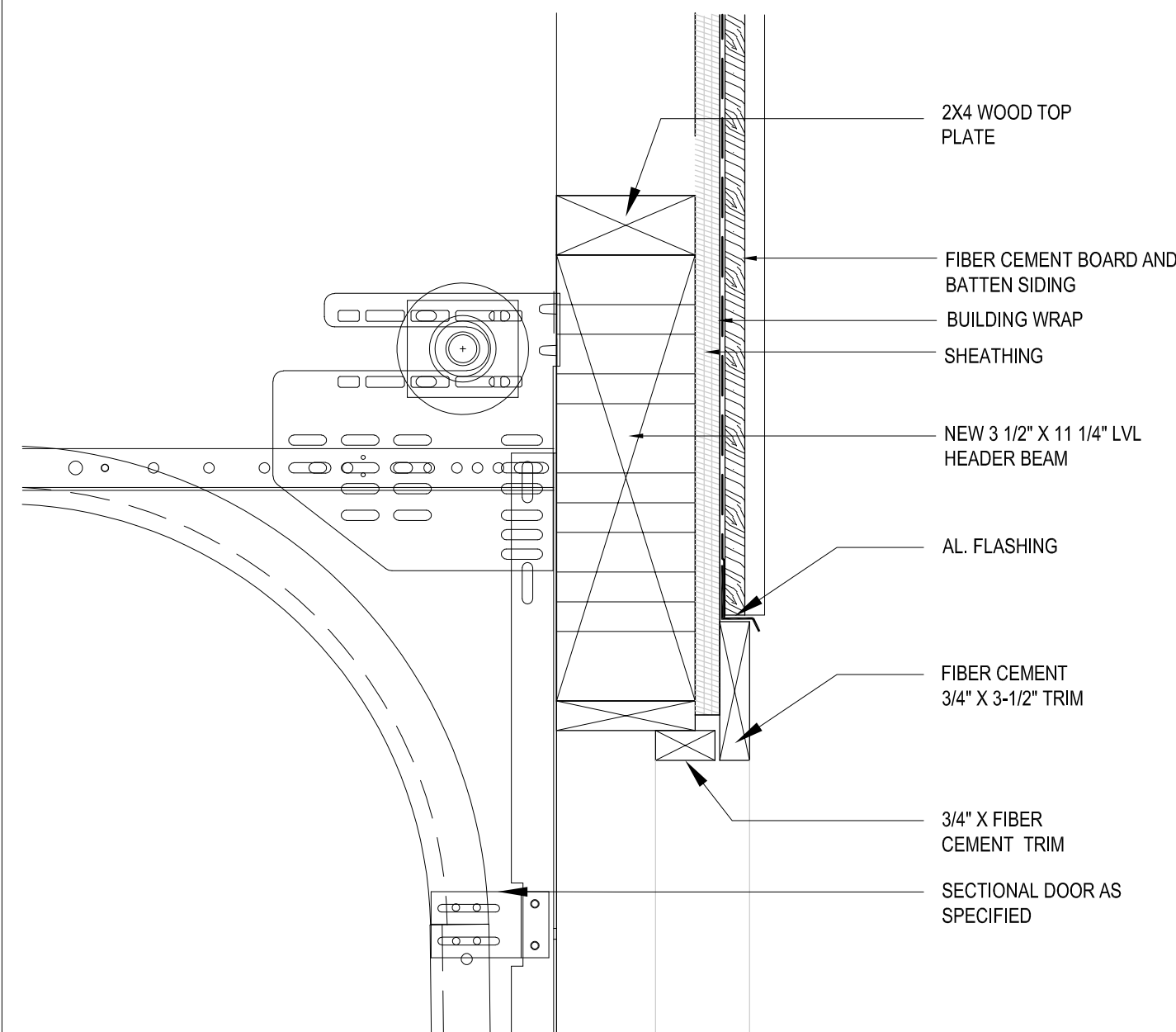
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0 SCALE: 4"  
3" = 1'-0"

DETAIL AT  
GARAGE DOOR JAMB

03



0 SCALE: 4"  
3" = 1'-0"

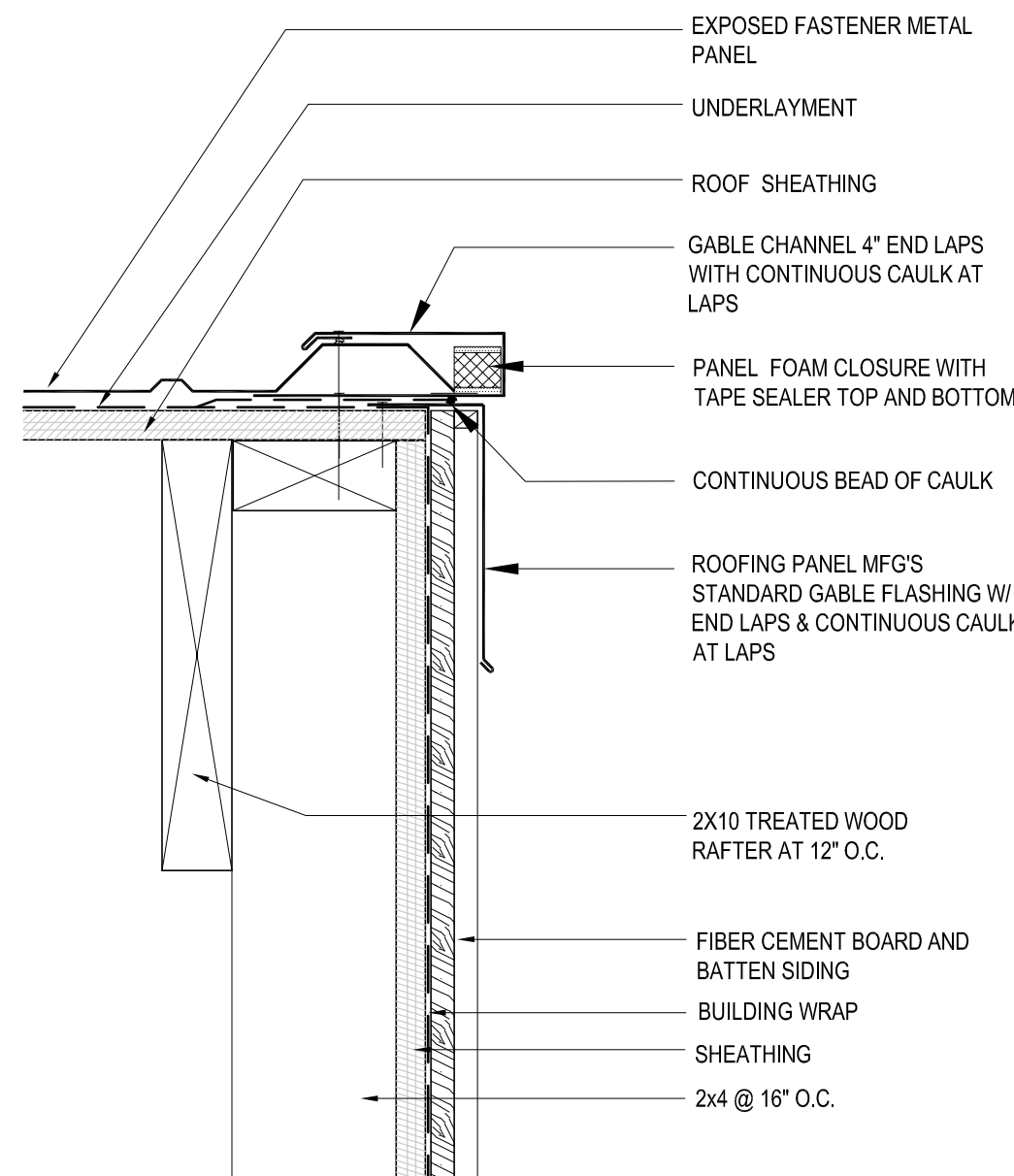
DETAIL AT  
GARAGE DOOR HEADER

02

0 SCALE: 4"  
3" = 1'-0"

DETAIL  
AT ROOF GABLE

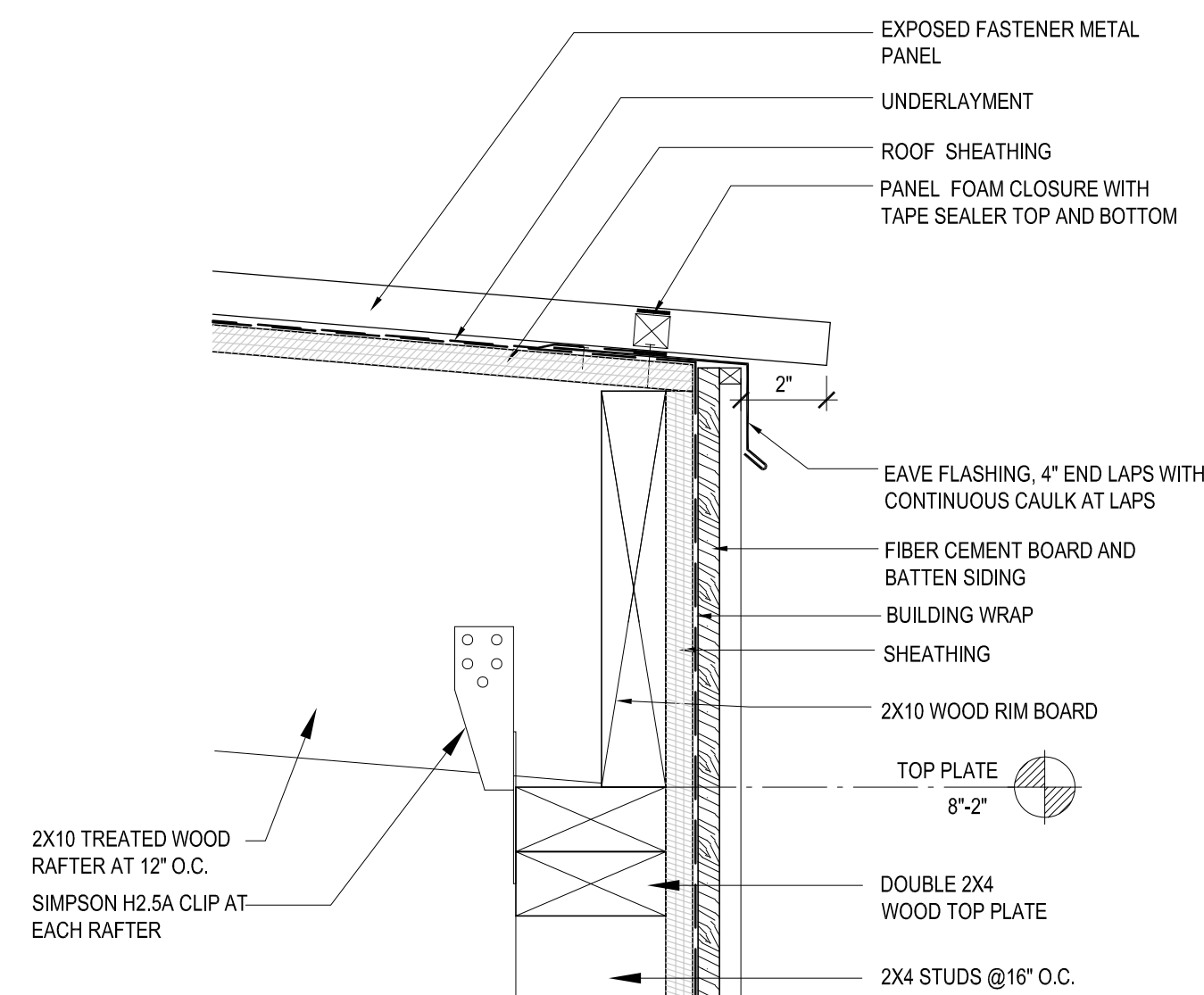
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3" = 1'-0"

DETAIL  
AT ROOF EAVE

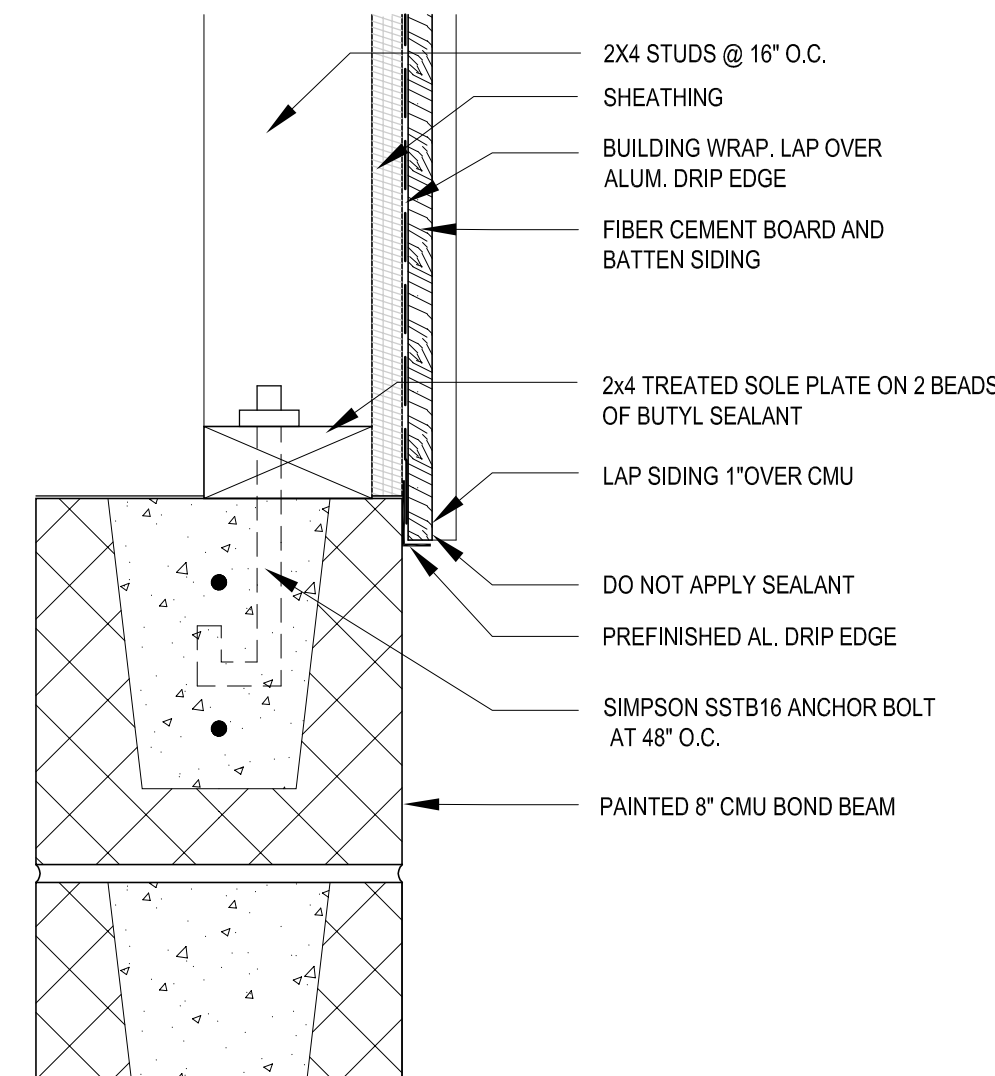
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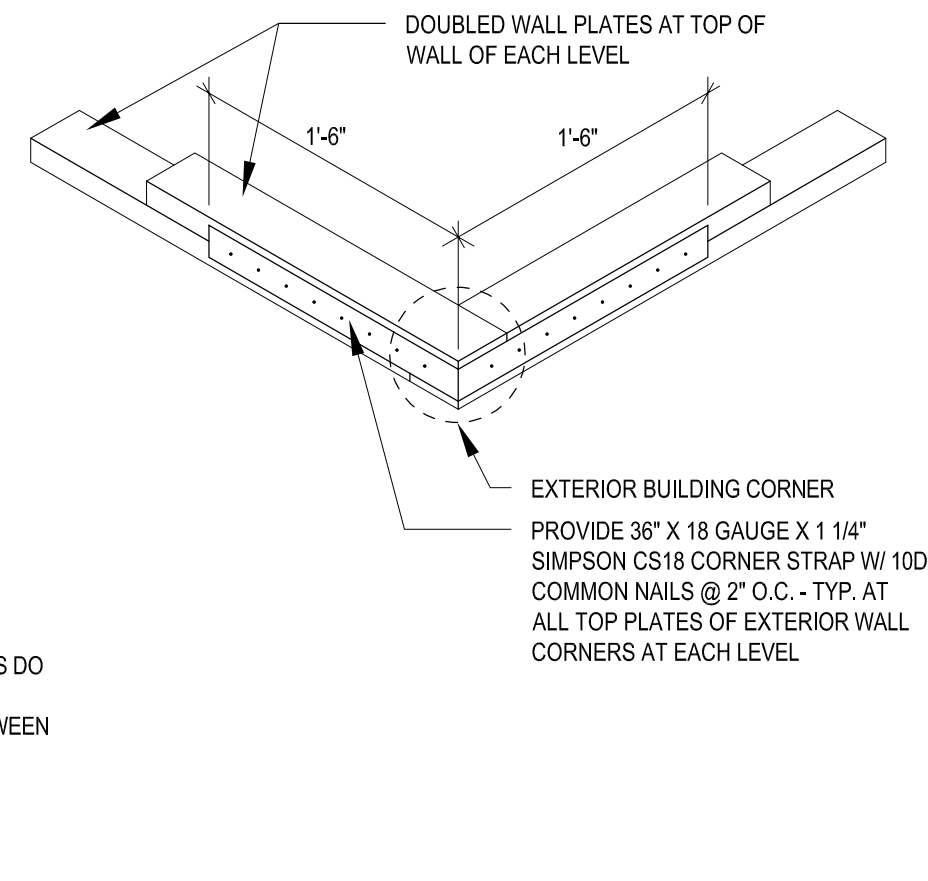
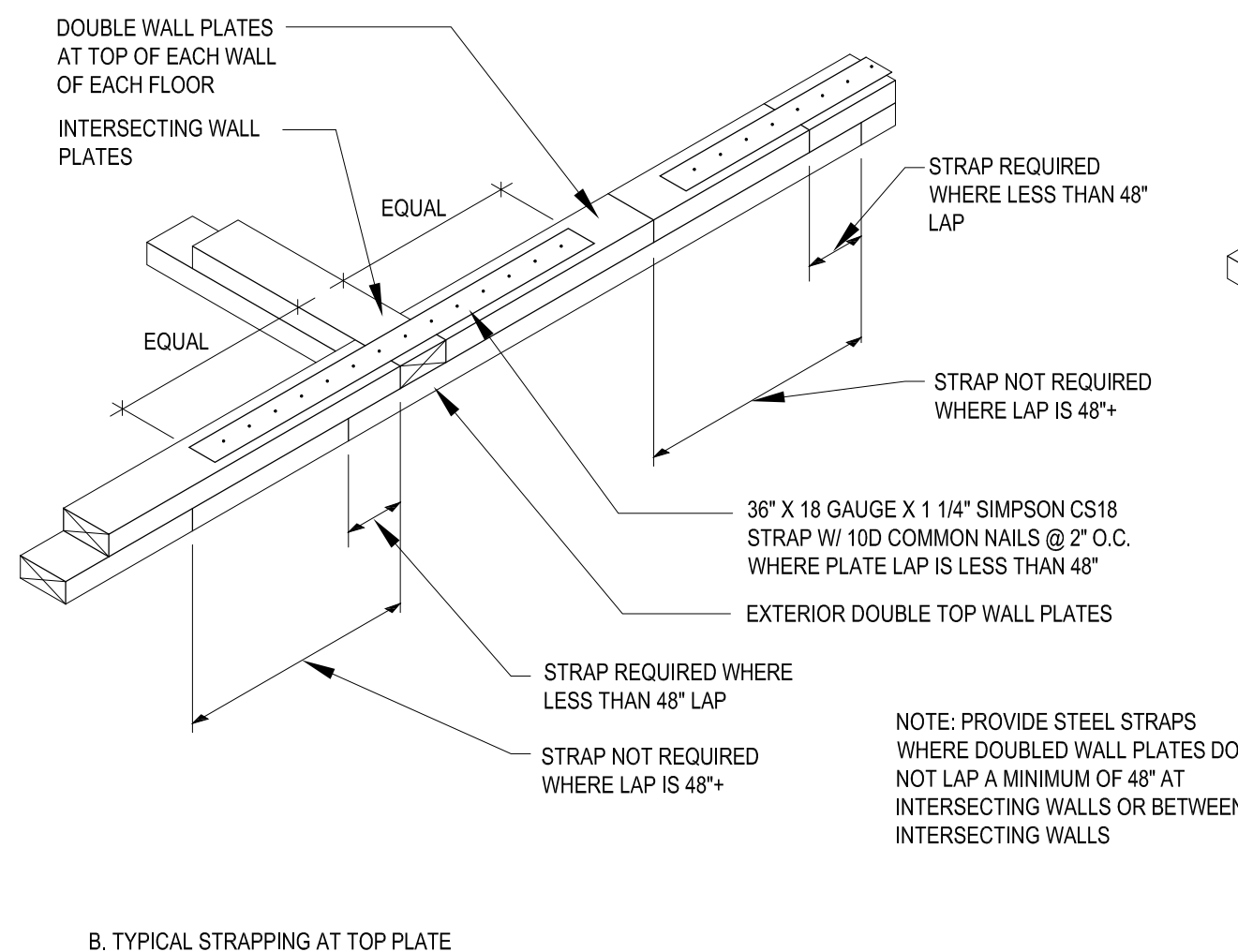
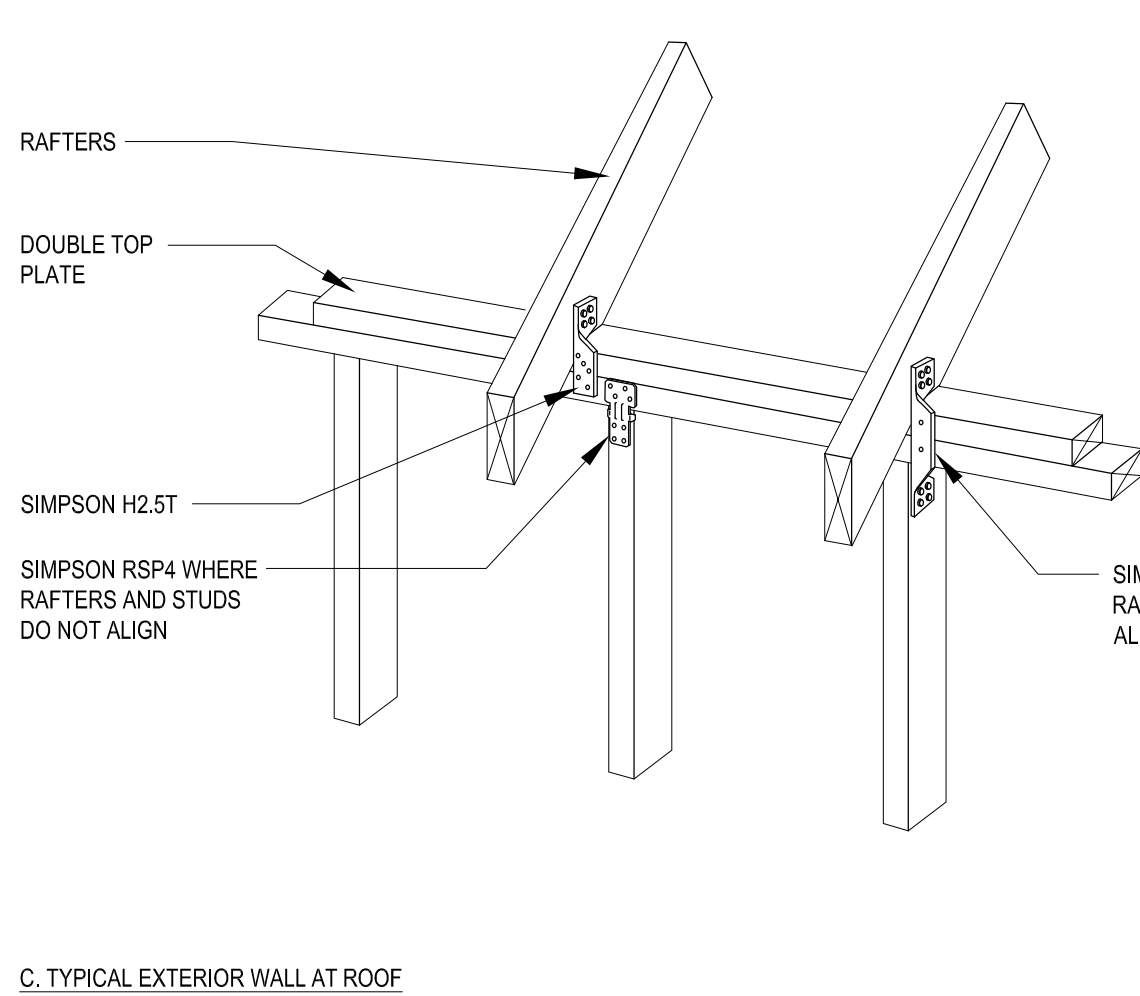
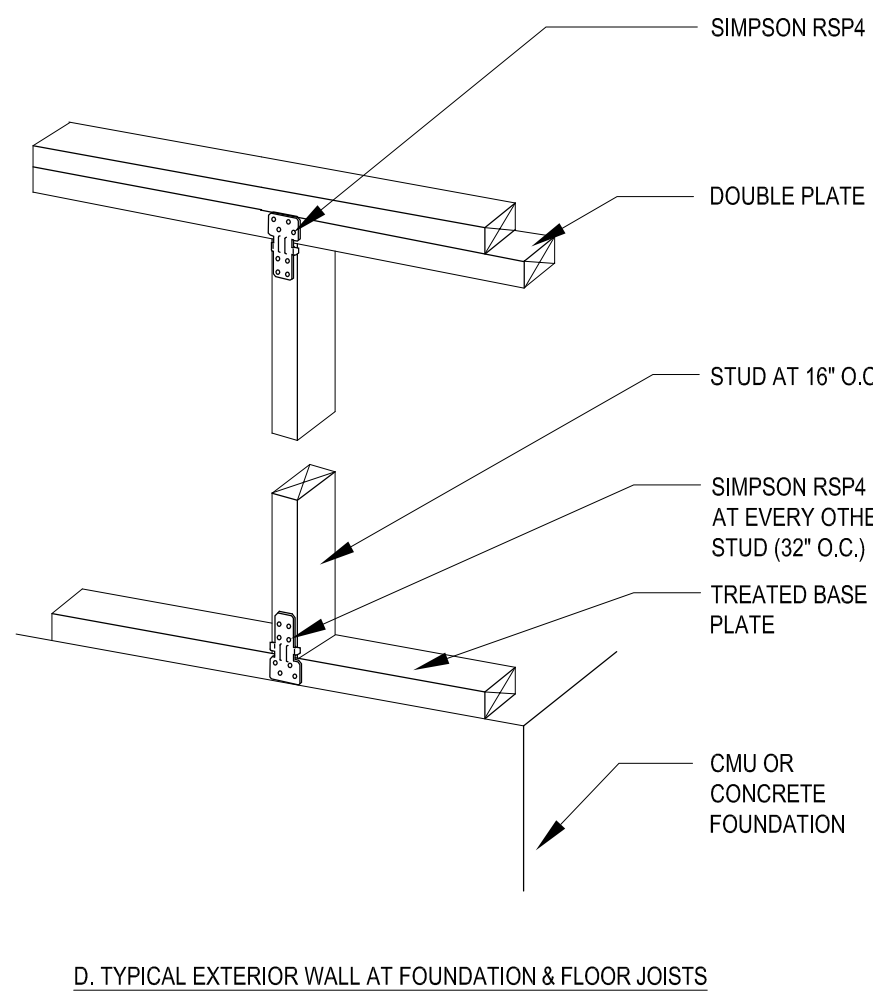
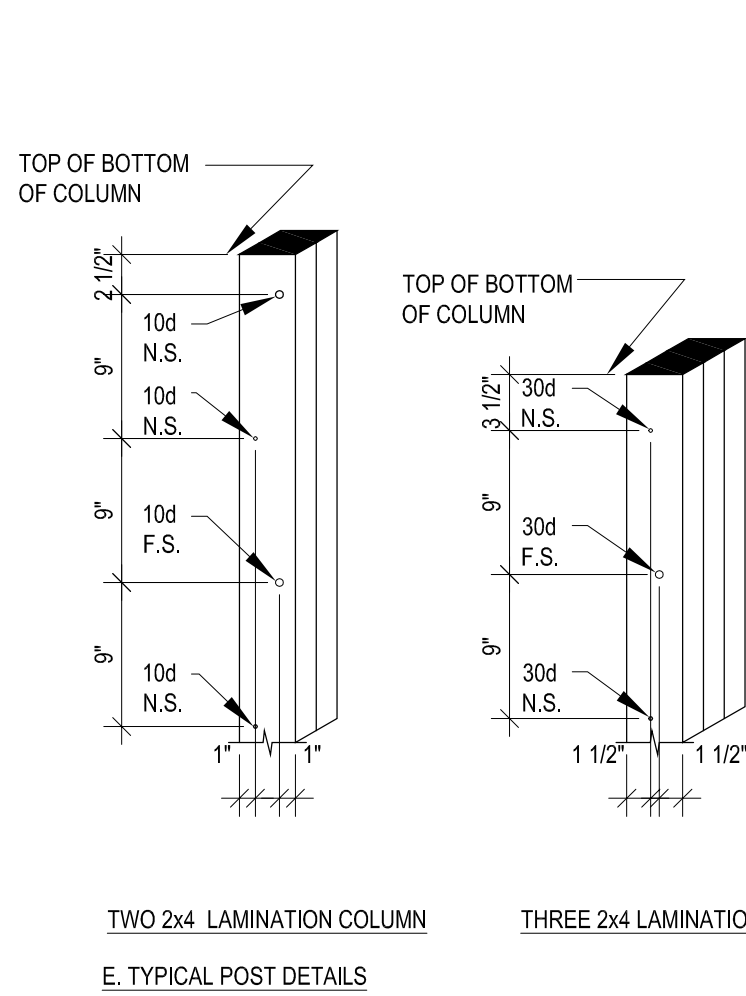
0 SCALE: 4"  
3" = 1'-0"

DETAIL AT  
SIDING AND CMU INTERFACE

01







# GENERAL FRAMING AND FASTENING NOTES

GENERAL FASTNER SCHEDULE			
CONNECTION	NAILING (1)	CONNECTION	NAILING (1)
1. JOIST TO SILL OR GIRDER, TOENAIL	3- 8d 3- 3"x0.131" NAILS	22. COLLAR TIE TO RAFTER, FACE NAIL	3-10d 4-3"x0.131" NAILS
2. BRIDGING TO JOIST, TOENAIL EACH END	2- 8d 2-3"x0.131" NAILS	23. JACK RAFTER TO HIP, TOENAIL	3-10d, 4-3"x0.131" NAILS
3. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d AT 16" O.C. 3"x0.131" NAILS @ 8" O.C.	FACE NAIL	2-16d 3-3"x0.131" NAILS
4. TOP PLATE TO STUD, TOENAIL	2- 16d 3-3"x0.131" NAILS	24. ROOF RAFTER TO 2X RIDGE BEAM, TOENAIL	2-16d 3-3"x0.131" NAILS
5. STUD TO SOLE PLATE, TOENAIL	3-8d, 4-3"x0.131"	FACE NAIL	2-16d 3-3"x0.131" NAILS
TOENAIL	2-16d, END NAIL 3-3"x0.131" ENDNAILS	25. JOIST TO BAND JOIST, FACE NAIL	3-16d 5-3"x0.131" NAILS
6. DOUBLE STUD, FACE NAIL	16d AT 24" O.C. 3"x0.131" NAILS @ 8" O.C.	26. LEDGER STRIP, FACE NAIL	3-16d 4-3"x0.131" NAILS
7. DOUBLED TOP PLATES, FACE NAIL	16d AT 16" O.C. 3"x0.131" NAILS @ 12" O.C.	27. WOOD STRUCTURAL PANELS & PLYWOOD: (5) ROOF & WALL SHEATHING (TO FRAMING): 1/2" THICK AND LESS:	6d (2) 23/8"x 0.113" NAIL 13/4" 16 GAGE
8. DOUBLE TOP PLATE LAP SPLICE, FACE NAIL	8-16d 12-3"x0.131" NAILS	19/32"-3/4" THICK:	8d (3) OR 6d (4) 23/8"x 0.113" NAIL 2" 16 GAGE
TOP PLATES, LAPS & INTERSECTIONS, FACE NAIL	2-16d	7/8"-1" THICK:	8d (2)
9. BLOCKING BETWEEN JOISTS OR RAFTERS	3-8d COMMON	SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING) 11/8"-11/4" THICK:	10d (3) or 8d (4)
TOENAIL TO TOP PLATE	3-3"x0.131" NAILS	28. PANEL SIDING (TO FRAMING): 1/2" THICK OR LESS:	6d (6) 8d (6)
10. RIM JOIST TO TOP PLATE, TOENAIL	8d AT 6" O.C. 3"x0.131" NAILS @ 6" O.C.	29. FIBERBOARD OR GYPSUM BOARD SHEATHING: (7) 1/2" THICK:	No. 11 ga.8 6d (3) No. 16 ga.9
11. CONTINUOUS HEADER, TWO PIECES	16d AT 16" O.C. ALONG EDGE	25/32" THICK:	No. 11 ga.8 8d (3) No. 16 ga.9
12. CEILING JOISTS TO PLATE, TOENAIL	3-8d 5-3"x0.131" NAILS	30. WOOD ROOF DECKING: (8) ROOF SHEATHING (TO FRAMING): 1/2" THICK AND LESS:	6d (2) 23/8"x 0.113" NAIL 13/4" 16 GAGE
13. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d	19/32"-3/4" THICK:	8d (3) OR 6d (4) 23/8"x 0.113" NAIL 2" 16 GAGE
14. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL:	16d AT 16" O.C. 4-3"x0.131" NAILS	31. FLOOR DECKING (TO FRAMING): 1-1/2" THICK:	#8 x 3" SCREWS & URETHANE ADHESIVE
15. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d		
16. RAFTER TO PLATE, TOENAIL	3-8d 3-3"x0.131" NAILS		
17. 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2-8d 3-3"x0.131" NAILS		
18. 1"x8" SHEATHING OR LESS TO EACH BEARING.	2-8d		
19. WIDER THAN 1"x8" SHEATHING TO EACH BEARING.	3-8d		
20. BUILT-UP CORNER STUDS	16d AT 24" O.C. 3"x0.131" NAILS @ 6" O.C.		
21. BUILT-UP GIRDER AND BEAMS, FACE NAIL	20d AT 32" O.C. 3"x0.131" NAILS @ 24" O.C. AT TOP AND BOTTOM AND STAGGERED ON OPPOSITE SIDES		
	2-20d 3-3"x0.131" NAILS AT ENDS & AT EACH SPLICE		

NOTES:

(1) COMMON NAILS TO BE USED EXCEPT WHERE OTHER WISE STATED.

(2) COMMON OR DEFORMED SHANK. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.

(3) COMMON.

(4) DEFORMED SHANK.

(5) NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS (10 INCHES AT INTERMEDIATE SUPPORTS FOR FLOORS), EXCEPT 6 INCHES AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF PLYWOOD AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS. NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.

(6) CORROSION - RESISTANT SIDING OR CASING NAILS.

(7) FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS.

(8) CORROSION - RESISTANT RING SHANK (OR DEFORMED) ROOFING NAILS WITH 7/16 INCH DIAMETER HEAD AND 1-1/2 INCH LENGTH FOR 1/2 INCH SHEATHING AND 13/4 INCH LENGTH FOR 25/32 INCH SHEATHING.

(9) CORROSION - RESISTANT STAPLES WITH NOMINAL 7/16 INCH CROWN AND 1-1/8" INCH LENGTH FOR 1/2 IN SHEATHING AND 11/2 INCH LENGTH FOR 25/32 INCH SHEATHING.

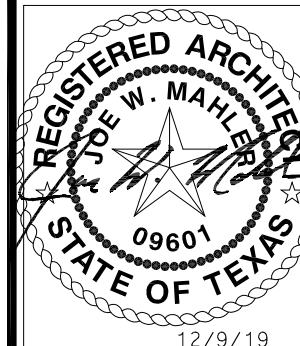
GENERAL FASTNER NOTES		
1. FOR PLYWOOD NAILING 10 GAGE X 17/8" CUT NAILS MAY BE USED IN LIEU OF 8D; AND 9 GAGE X 21/8" CUT NAILS IN LIEU OF 10D. FOR NAILING OF PLYWOOD, A CONTACT OR BEARING IS DEFINED AS FOLLOWS:		
A FACE WIDTH OF A MEMBER OR GROUP OF INTERCONNECTED MEMBER 61/2" OR LESS ONE CONTACT.		
A FACE WIDTH MORE THAN 61/2" IS TWO CONTACTS. DOUBLE TOP OF WALL PLATES SHALL BE CONSIDERED AS TWO CONTACTS.		
2. WHEN PERMISSION FOR USE OF NAILING GUN IS GRANTED, THE NAILS SHALL BE DRIVEN TO A LINE MARKED ON THE PW. ALL HEADS SHALL BE FULL SEATED AND NO NAIL POINTS SHOWING. NAILS SHALL BE DRIVEN PERPENDICULAR TO PW FACE.		
3. NAILING NOT NOTED ABOVE OR ON DETAILS SHALL BE AT LEAST TWO NAILS AT ALL CONTACT POINTS, USING 8D THROUGH 1" MATERIAL, 16D THROUGH 2" MATERIAL, 40D NAILS THROUGH 3" MATERIAL AND 30D THROUGH 2" MATERIAL ON FACE OF SHEATHING.		
4. ALTERNATE POWER NAILS (FOR FRAMING MEMBERS ONLY)		
PERMISSION FOR USE OF NAILING GUN IS GRANTED, THE NAILS SHALL BE DRIVEN TO A LINE MARKED ON THE PW. ALL HEADS SHALL BE FULL SEATED AND NO NAIL POINTS SHOWING. NAILS SHALL BE DRIVEN PERPENDICULAR TO PW FACE NAILING NOT NOTED ABOVE OR ON DETAILS SHALL BE AT LEAST TWO NAILS AT ALL CONTACT POINTS, USING 6d THROUGH 1" MATERIAL, 10d THROUGH 2" MATERIAL, 40d NAILS THROUGH 3" MATERIAL AND 20d THROUGH 2" MATERIAL ON FACE OF SHEATHING.		
5. 8d NAILS - .113 X 23/8"		
6. 6d - .131 X 3"		
7. PROVIDE DEFORMED SHANK NAILS AS REQUIRED BY U.L. RATINGS.		
8. GYPSUM BOARD SHALL BE SCREWED TO FRAMING AT 12 " O.C. FOR CEILINGS AND 16" O.C. FOR WALLS, USING #6 1-1/4 " SCREWS.		
GENERAL NOTES		
1. SHEATH ENTIRE EXTERIOR SHEAR WALLS THEN CUT-OUT FOR WINDOWS.		
2. STRAPPING AND CLIPS NOTED ARE SIMPSON, CONTRACTOR MAY PROVIDE AN ALTERNATE BRAND		
3. ALL EXTERIOR AND LOAD BEARING WALLS SHALL BE ANCHORED TO CMU WITH 1/2" DIA. x 8" "L" ANCHOR BOLTS, U.N.O.		
STUD SCHEDULE (EXCEPT AS NOTED ON ARCHITECTURAL DRAWINGS) (S.Y.P. STUD GRADE)		
	EXTERIOR	INTERIOR
UP TO 10' PLATE	2 X 4'S AT 16" O.C.	2 x 4'S AT 16" O.C.
10' PLATE	2 X 4'S AT 16" O.C.	2 x 4'S AT 16" O.C.
STUD SCHEDULE NOTES:		
1. ALL VOLUME AREAS SHALL BE BALLOON FRAMED W/ 2x4 @ 16" O.C.		
2. ALL SHEARWALLS SHALL HAVE STUDS @ 16" O.C. (MAX.)		
3. NON-LOAD BEARING INTERIOR PARTITIONS - FRAMED W/ 2x4 @ 16" O.C..		

0 SCALE: 1'-0"  
1" = 1'-0"

TYPICAL FRAMING DETAILS

01

TEXAS  
PARKS &  
WILDLIFE



PDG  
ARCHITECTS

BIG SPRING STATE PARK  
MAINTENANCE SHOP ROOF REPLACEMENT  
PROJECT NUMBER:MR10418

DATE: 12-9-2019  
DESIGN BY: JWB  
DRAWN BY: HF/RZ  
REVIEW BY: JWB  
REVISED:

REVISED:

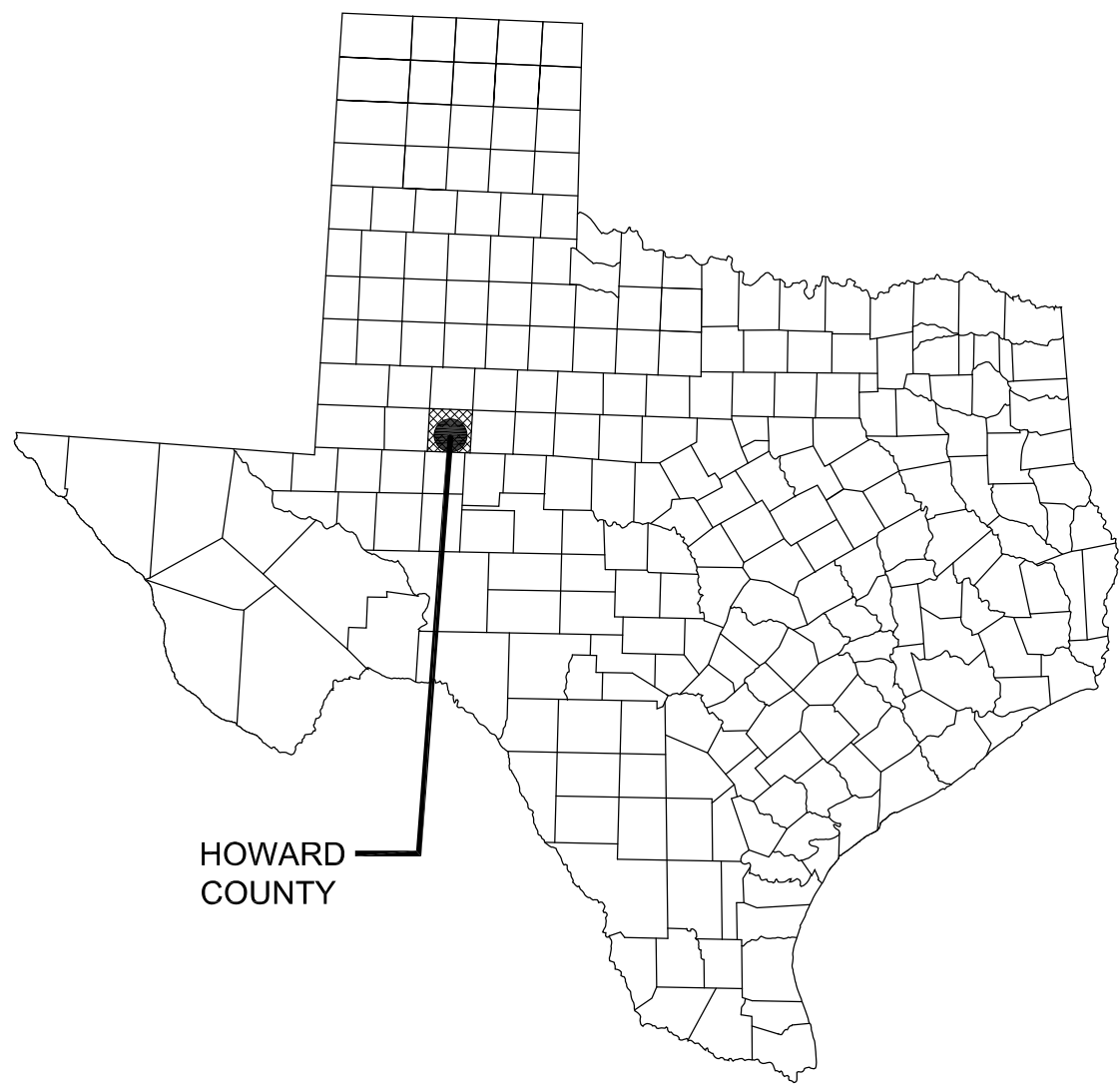
SHEET TITLE  
FRAMING  
DETAILS

SHEET NUMBER

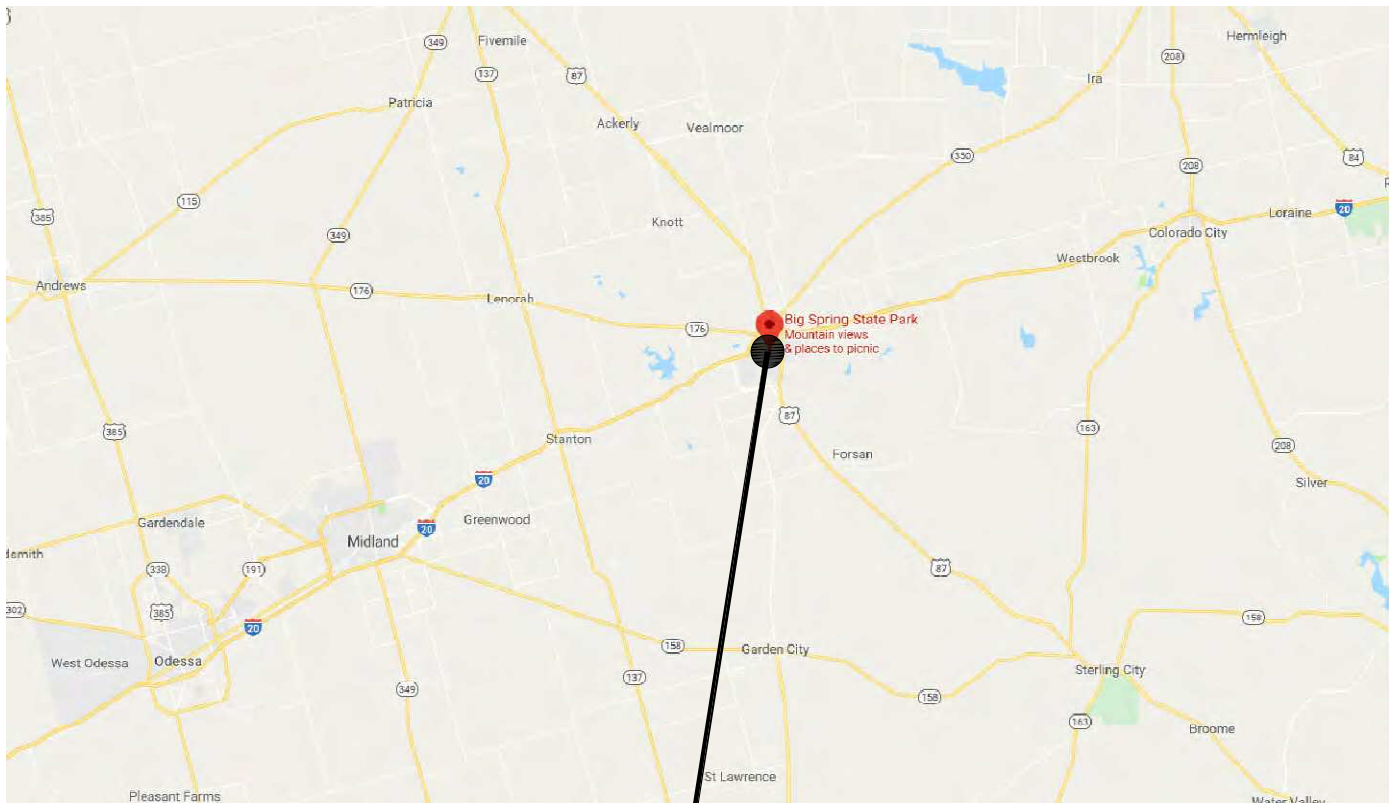
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PERCENTAGE: 100% CONSTRUCTION DOCUMENTS



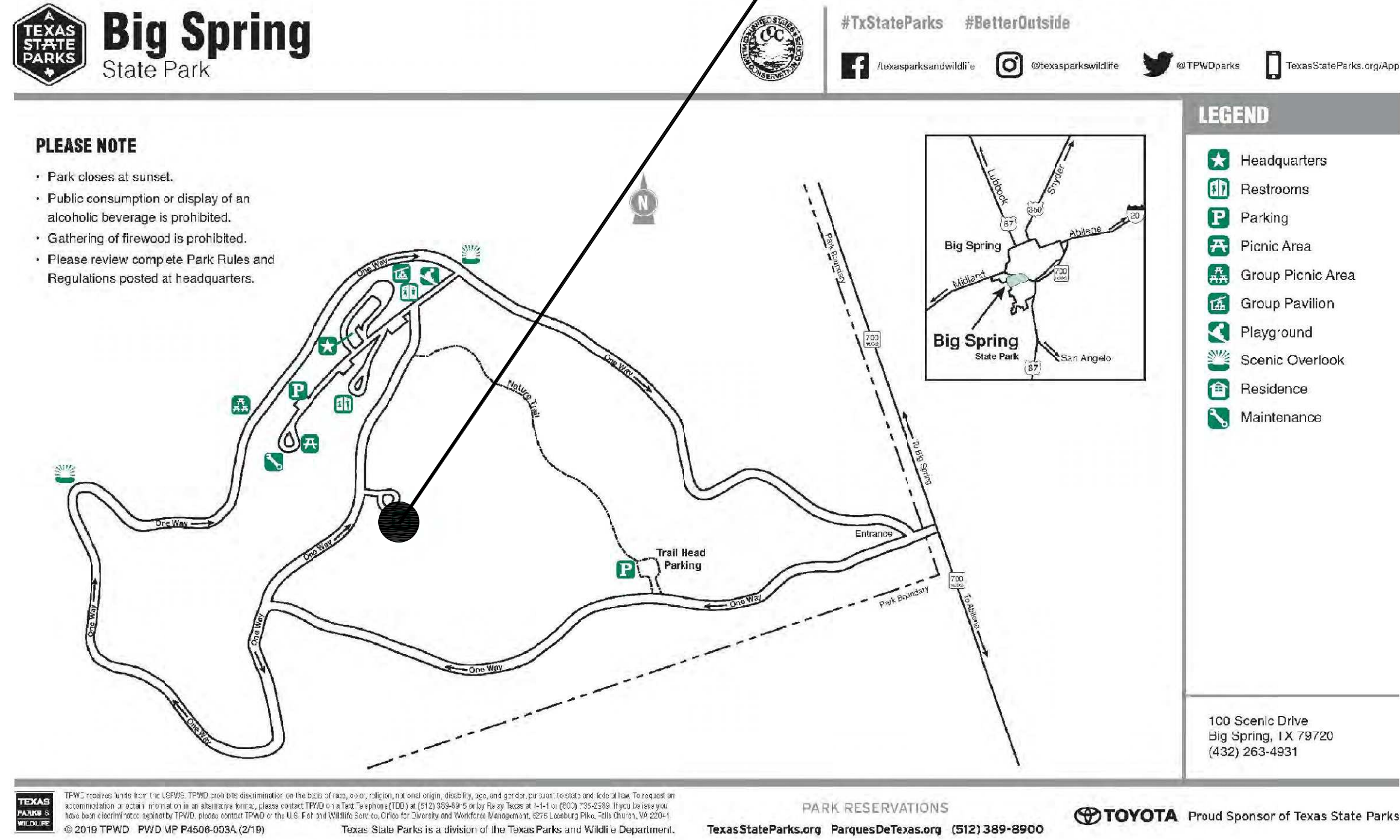


COUNTY LOCATION MAP  
NOT TO SCALE

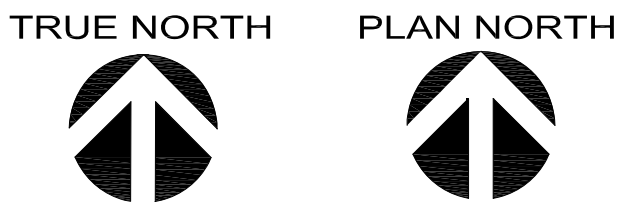


PROJECT SITE

VICINITY MAP  
NOT TO SCALE



SITE LOCATION MAP  
NOT TO SCALE



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PROJECT  
BIG SPRING STATE PARK  
RESIDENCE ROOF REPLACEMENT

PROJECT NO: EH10338

DATE: DEC. 9, 2019

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
-	COVER SHEET
A0	ABBREVIATIONS, NOTES AND SUBMITTALS
A1	ROOF PLAN & PHOTOS
A2	ROOF DETAILS

BUILDING CODE SUMMARY

- A. INTERNATIONAL CODE COUNCIL ADOPTIONS\*
1. BUILDING CODE INTERNATIONAL BUILDING CODE 2015
  2. STRUCTURAL CODE INTERNATIONAL BUILDING CODE 2015
  3. PLUMBING CODE INTERNATIONAL PLUMBING CODE 2015
  4. MECHANICAL CODE INTERNATIONAL MECHANICAL CODE 2015
  5. GAS CODE INTERNATIONAL FUEL GAS CODE 2015
  6. RESIDENTIAL CODE INTERNATIONAL RESIDENTIAL CODE 2015
  7. EXISTING BUILDINGS INTERNATIONAL EXISTING BUILDINGS CODE 2015
- \* International Fire Code omitted in lieu of TPWD's implementation of National Fire Protection Association codes. International Energy Conservation Code 2015 omitted in lieu of Energy Standard for Buildings, ASHRAE/IESNA Standard 90.1 (2013).
- B. NATIONAL FIRE PROTECTION ASSOCIATION
1. ELECTRIC CODE NATIONAL ELECTRICAL CODE NFPA-70 2017
  2. FIRE CODE NFPA - 1 2015
  3. LIFE SAFETY CODE NFPA - 101 2015
- C. STATE ENERGY CONSERVATION OFFICE (SECO)/TEXAS COMPTROLLERS OFFICE
1. ENERGY CODES FOR STATE BUILDINGS - See Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch. 19, Subchapter C
  - a. COMPLIANCE WITH THE ENERGY CONSERVATION DESIGN STANDARD OF THE AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS (ASHRAE) /ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA), ENERGY STANDARD FOR BUILDINGS, ASHRAE/IESNA STANDARD 90.1 (2013)  
See SECO website for State Funded Buildings, New Construction and Major Renovation Requirements and SECO Compliance Certification Forms
  2. WATER CONSERVATION STANDARDS FOR STATE BUILDINGS - Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch. 19, Subchapter C
  - a. COMPLIANCE WITH THE WATER CONSERVATION DESIGN STANDARDS FOR STATE BUILDINGS AND INSTITUTIONS OF HIGHER EDUCATION FACILITIES, STATE ENERGY CONSERVATION OFFICE (SECO), 2016  
See SECO website for Texas Water Conservation Design Standards, Requirements and SECO Compliance Certification / Reporting Form
- D. ACCESSIBILITY CODES
1. US DEPT. OF JUSTICE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
  2. ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES, OUTDOOR DEVELOPED AREAS, NOVEMBER 25, 2013
  3. 2012 TEXAS ACCESSIBILITY STANDARDS, ELIMINATION OF ARCHITECTURAL BARRIERS, TEXAS GOVERNMENT CODE, CHAPTER 469
- E. PLAYGROUND SAFETY CODE
1. ASTM F1487-17, STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATIONS FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE
  2. ASTM F2223-15, STANDARD GUIDE FOR ASTM STANDARDS ON PLAYGROUND SURFACING

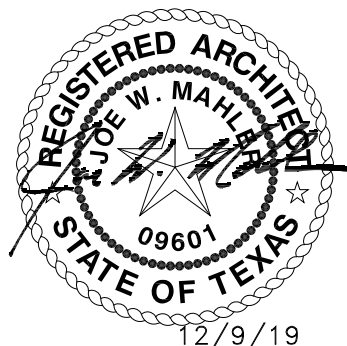
SCOPE OF WORK

CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, TOOLS, MATERIALS, AND INCIDENTALS NECESSARY TO REMOVE THE EXISTING ROOF TO EXISTING TRUSSES, INSTALL NEW ROOF AND REPLACE HEADER AT EXISTING GARAGE AT THE RESIDENCE BUILDING AT BIG SPRING STATE PARK.



TEXAS PARKS AND WILDLIFE  
INFRASTRUCTURE DIVISION

4200 SMITH SCHOOL ROAD · AUSTIN, TEXAS 78744-3292



RELEASED FOR SOLICITATION

Tom Bettis  
PROJECT MANAGER, INFRASTRUCTURE DIVISION

Lori Sons  
DESIGN BRANCH MANAGER, INFRASTRUCTURE DIVISION

5/20/2020

DATE

10/13/2020

DATE



ABBREVIATIONS			
ACoust	ACOUSTICAL	LAM	LAMINATE
AFF	ABOVE FINISHED FLOOR	LAV	LAVATORY
ADD	ADDITION	LB	POUND
ADJ	ADJUSTABLE	LBL	LABEL
A/C	AIR CONDITIONING	LWT	LIGHTWEIGHT
ALT	ALTERNATE		
ALUM	ALUMINUM	MACH	MACHINE
APPROX	APPROXIMATE	MAINT	MAINTENANCE
APPVD	APPROVED	MATL	MATERIAL
ARCH	ARCHITECT	MAX	MAXIMUM
AVE	AVENUE	MBR	MEMBER
		MC	MEDICINE CABINET
BD	BOARD	MECH	MECHANICAL
BETW	BETWEEN	MEP	MECH/ELEC/PLMB
BLDG	BUILDING	MFR	MANUFACTURER
BLKG	BLOCKING	MGR	MANAGER
BM	BEAM, OR BENCH MARK	MIN	MINIMUM
BOT	BOTTOM	MISC	MISCELLANEOUS
BRZ	BRONZE	MK	MARK
BSMT	BASEMENT	MLDG	MOULDING
		MO	MASONRY OPENING
		MSNRY	MASONRY
C TO C	CENTER TO CENTER	MTD	MOUNTED
CAB	CABINET	MTL	METAL
CER	CERAMIC	MUL	MULLION
CJ	CONSTRUCTION JOINT/ CONTROL JOINT	MW	MICROWAVE
CL	CENTER LINE		
CLG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NO	NUMBER
CLOS	CLOSET	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
		OA	OVERALL
CO	CLEANOUT	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OH	OPPOSITE HAND
CONSTR	CONSTRUCTION	OPNG	OPENING
CONT	CONTINUOUS	OPP	OPPOSITE
CONTD	CONTINUED	ORIG	ORIGINAL
CONTR	CONTRACTOR	OVHD	OVERHEAD
COR	CONTRACTING OFFICER'S REPRESENTATIVE	OZ	OUNCE
		PART	PARTIAL
CTR	CENTER	PART BD	PARTICLE BOARD
CW	COLD WATER	PL	PROPERTY LINE
		PLAM	PLASTIC LAMINATE
DBL	DOUBLE	PLMB	PLUMBING
DET	DETAIL	PLYWD	PLYWOOD
DF	DRINKING FOUNTAIN	PREFAB	PREFABRICATED
DIA	DIAMETER	PR	PAIR
DIAG	DIAGONAL	PROP	PROPERTY
DIM	DIMENSION	PSI	POUNDS PER SQ IN
DIV	DIVISION	PTD	PAINTED
DEMO	DEMOLITION		
DN	DOWN		
DR	DOOR	RA	RETURN AIR
DS	DOWNSPOUT	RAD	RADIUS
DWG	DRAWING	RAG	RETURN AIR GRILL
DWR	DRAWER	RE	REFER
EA	EACH	REC	RECESSED
ELEV	ELEVATION	RECEPT	RECEPTACLE
ELEC	ELECTRICAL	RECT	RECTANGULAR
ENCL	ENCLOSURE	RELOC	RELOCATED
ENGR	ENGINEER	REDO	REQUIRED
EQ	EQUAL	REP	REPRESENTATIVE
EQUIP	EQUIPMENT	RESIL	RESILIENT
ETC	AND SO FORTH	REV	REVISION
EW	ELECTRIC WATER COOLER	RH	RIGHT HAND
		RM	ROOM
		RND	ROUND
		RO	ROUGH OPENING
		RTN	RETURN
EXH	EXHAUST		
EXTG	EXISTING		
EXP	EXPOSED	SC	SOLID CORE
EXT	EXTERIOR	SCHED	SCHEDULE
FD	FLOOR DRAIN	SECT	SECTION
FE	FIRE EXTINGUISHER	SEQ	SEQUENCE
FEC	FIRE EXTINGUISHER CABINET	SF	SQUARE FEET
		SGL	SINGLE
FED	FEDERAL	SH	SHEET
FF	FINISHED FLOOR	SIM	SIMILAR
FV	FIELD VERIFY	SPEC	SPECIFICATION
		SO	SQUARE
FHC	FIRE HOSE CABINET	SS	STAINLESS STEEL
FL	FLOW LINE	STD	STANDARD
FLR	FLOOR	STL	STEEL
FPRF	FIREPROOF	STOR	STORAGE
FR	FRAME	STRUCT	STRUCTURAL
FTG	FOOTING	SURF	SURFACE
FURR	FURRING	SUSP	SUSPENDED
FW	FIRE WALL		
FXTR	FIXTURE	TECH	TECHNICAL
		TELE	TELEPHONE
GA	GAUGE	THK	THICK (NESS)
GALV	GALVANIZED	THRU	THROUGH
GEN	GENERAL	TYP	TYPICAL
GFE	GOVERNMENT FURNISHED EQUIPMENT		
		UNFIN	UNFINISHED
GFM	GOVERNMENT FURNISHED MATERIAL	UNO	UNLESS NOTED OTHERWISE
GL	GLASS		
GOVT	GOVERNMENT		
GRL	GRILLE	VENT	VENTILATE
GYP	GYP SUM	VERT	VERTICAL
GYP BD	GYP SUM BOARD	VCT	VINYL
GC	GENERAL CONTRACTOR		COMPOSITION TILE
		VET	VINYL ENHANCED TILE
HDWR	HARDWARE	VOL	VOLUME
HM	HOLLOW METAL	VWC	VINYL WALLCOVERING
HORIZ	HORIZONTAL		
HT	HEIGHT		
HTR	HEATER	WD	WOOD
HWD	HARDWOOD	WH	WATER HEATER
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	WHSE	WAREHOUSE
		WP	WATERPROOF
HW	HOT WATER	W	WITH
HWH	HOT WATER HEATER	W/O	WITHOUT
		WT	WEIGHT
ID	INSIDE DIAMETER		
INSUL	INSULATION		
INTR	INTERIOR	YD	YARD
JAN	JANITOR		
JT	JOINT		

DRAWING SYMBOL LEGEND			
	01	COLUMN GRID	
		EXISTING WALLS BELOW THE ROOF	
	RECEPTION 101	ROOM NAMES AND NUMBERS	
	00/AD.0	ELEVATION MARK	
	00/AD0.00	DETAIL MARK	
	1 A-201	SECTION	
		AREA OF WORK	
	XX A00.00	ENLARGED DETAIL CALL-OUT	
	A	REVISION REFERENCE, CLOUDED AREA REVISED	

GENERAL DEMOLITION NOTES			
1.	ANY ITEM WHICH IS DESIGNATED TO REMAIN AND IS LOST OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.		
2.	PROMPTLY REPAIR ADJACENT SURFACES DAMAGED BY DEMOLITION OPERATIONS.		
3.	REMOVE DEMOLISHED MATERIALS AND DEBRIS FROM THE SITE IN A MANNER APPROVED BY THE PROJECT MANAGER. TRANSPORT AND LEGALLY DISPOSE OFF MATERIALS AT AN APPROVED OFF SITE LOCATION.		
4.	UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE SITE CLEAN.		
5.	REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.		

EXISTING CONDITIONS			
1.	CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, SLOPES, AREAS, AND CONDITIONS. DIMENSIONS AND AREAS SHOWN ON THE DRAWINGS ARE APPROXIMATE.		
2.	DRAWINGS IN THIS SET ARE NOT TO BE CONSIDERED MEASURED DRAWINGS OF AS-CONSTRUCTED CONDITIONS.		
3.	FIELD MEASUREMENTS WILL BE REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL OBTAIN ALL FIELD MEASUREMENTS AS NECESSARY TO FABRICATE ITEMS OF WORK AND TO COMPLETE THE WORK DEPICTED IN THE CONSTRUCTION DOCUMENTS.		
4.	IF CONDITIONS ARE ENCOUNTERED WHICH DIFFER FROM CONDITIONS SHOWN OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, TO INCLUDE BUT NOT BE LIMITED TO DETERIORATED MATERIALS, OR DIFFERENT CONCEALED MATERIALS, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND SHALL NOT PROCEED WITH ADDITIONAL WORK WITHOUT WRITTEN AUTHORIZATION.		

EXISTING MATERIALS NOTES			
1.	EXISTING ROOFING MATERIAL IS WOOD SHINGLES INSTALLED ON SPACED WOOD SHEATHING. ROOF SUPPORT ON THE PORTION OF THE BUILDING DATING FROM 1934 COULD NOT BE VERIFIED.		
2.	FLASHING IS GALVANIZED SHEET METAL. EXISTING TRIM AND GUTTERS ARE PRE-FINISHED ALUMINUM.		
3.	EXISTING WALL CLADDING IS WOOD SIDING.		

PROPOSED MATERIALS NOTES			
HEADQUARTERS BUILDING			
1.	NEW ROOFING MATERIAL SHALL BE COMPOSITION ASPHALT ROOF.		
2.	UNDERLAYMENT SHALL BE FELT, ASTM D226, TYPE II.		
3.	NEW FLASHING SHALL BE PREFINISHED ALUMINUM .		
4.	NEW ROOFING SYSTEM SHALL BE CAPABLE OF RESISTING WIND SPEED OF 106 Vmph per ASCE 7, RISK CATEGORY II.		
5.	REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.		

SUBMITTALS TABLE								
REQUIRED SUBMITTALS PRIOR TO INSTALLATION								
MATERIAL/ PRODUCT	MANUF.'S PRODUCT INFO	INSTALLATION INSTRUCTIONS	SAFETY DATA SHEETS	SAMPLE	LEGIBLE PHOTO OF THE MATERIAL	SHOP DRAWINGS	MANUF.'S SAMPLE WARRANTY	OTHER /NOTES
ROOF DECKING	●	●	●					
FLASHINGS	●	●				●		
ROOFING ACCESSORIES	●	●				●	●	
COMPOSITION SHINGLES	●	●	●	●			●	PROVIDE SAMPLES TO CONSTRUCTION MANAGER FOR APPROVAL.
SHINGLES UNDERLAYMENT	●	●	●					
ROOF FASTENERS	●	●						
LVL WOOD HEADER	●	●				●		
STRUCTURE FASTENERS	●	●						
LUMBER ( STRONG BACK)	●	●						
CAULKS	●	●						
ADHESIVES	●	●						
SUBMITTAL NOTES: 1. SUBMIT WITH SIGNED TPWD SUBMITTAL COVERSHEET. 2. SUBMIT EITHER INDIVIDUAL SUBMITTALS PER EACH ITEM, OR A COMBINED SUBMITTAL PER EACH LINE ITEM. 3. A SUBMITTAL IS REQUIRED PER EACH ITEM NOTED. IF CONTRACTOR HAS DIFFICULTY OBTAINING INFORMATION FOR AN ITEM, PLEASE NOTIFY ARCHITECT.								

TEXAS

PARKS & WILDLIFE

BIG SPRING STATE PARK

RESIDENCE ROOF REPLACEMENT

PROJECT NUMBER: EH10338

DATE: 12-9-2019

DESIGN BY: JWB

DRAWN BY: HF/ RZ

REVIEW BY: JWB

REVISED:

REVISED:

SHEET TITLE

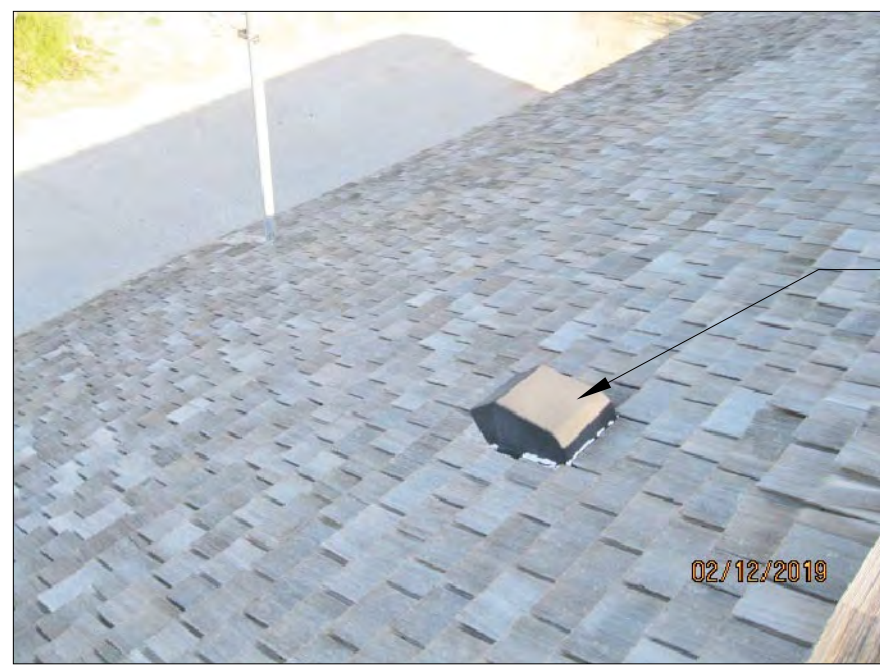
ABBREVIATIONS, NOTES & SUBMITTALS

SHEET NUMBER

A0

PERCENTAGE: 100% CONSTRUCTION DOCUMENTS





J VENT

EXISTING VENT TO EXHAUST KITCHEN STOVE TO REMAIN.

REMOVE ROCK FROM THE ROOF  
PROVIDE NEW METAL SLEEVE FLASHING AT EXISTING PENETRATIONS



H VIEW AT VALLEY



G ROOF VIEW AT EXISTING UTILITY DROP

EXISTING MAST FOR UTILITY DROP TO REMAIN. PROVIDE NEW METAL SLEEVE FLASHING.



F ROOF VIEW AT FLUE

EXISTING FLUE THRU ROOF TO BE REMOVED AND REPLACED.



E ROOF VIEW AT EAVE AND RAKE

PROVIDE NEW 1" TYPE RAKE EDGE METAL FLASHING

PROVIDE NEW 6" GUTTER AND 4"x4" DOWNSPOUT.



D WEST VIEW OF RESIDENCE



C SOUTH VIEW OF RESIDENCE



B EAST VIEW OF RESIDENCE



A NORTH VIEW OF RESIDENCE

SCALE:  
N.T.S.

HEADQUARTERS  
PHOTOS

05

SCALE:  
N.T.S.

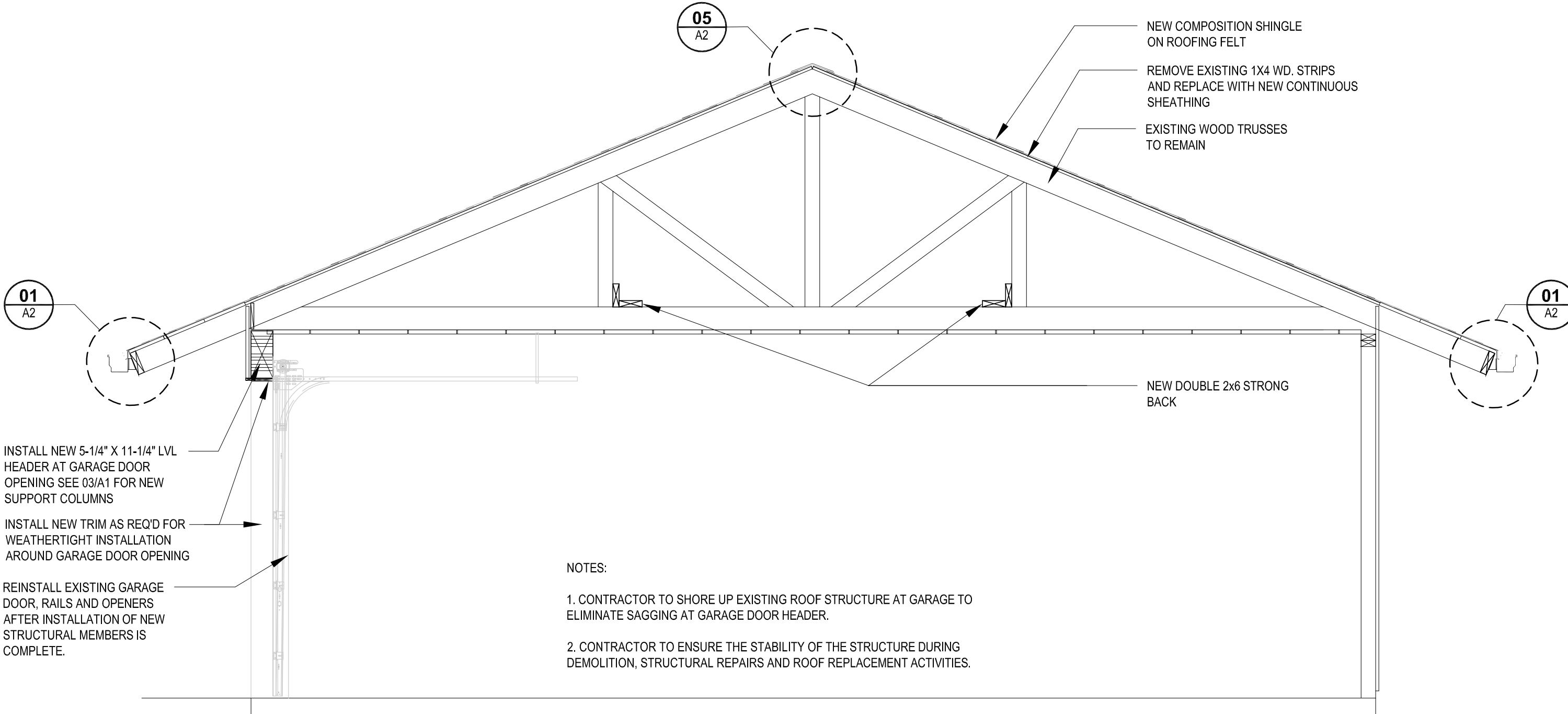
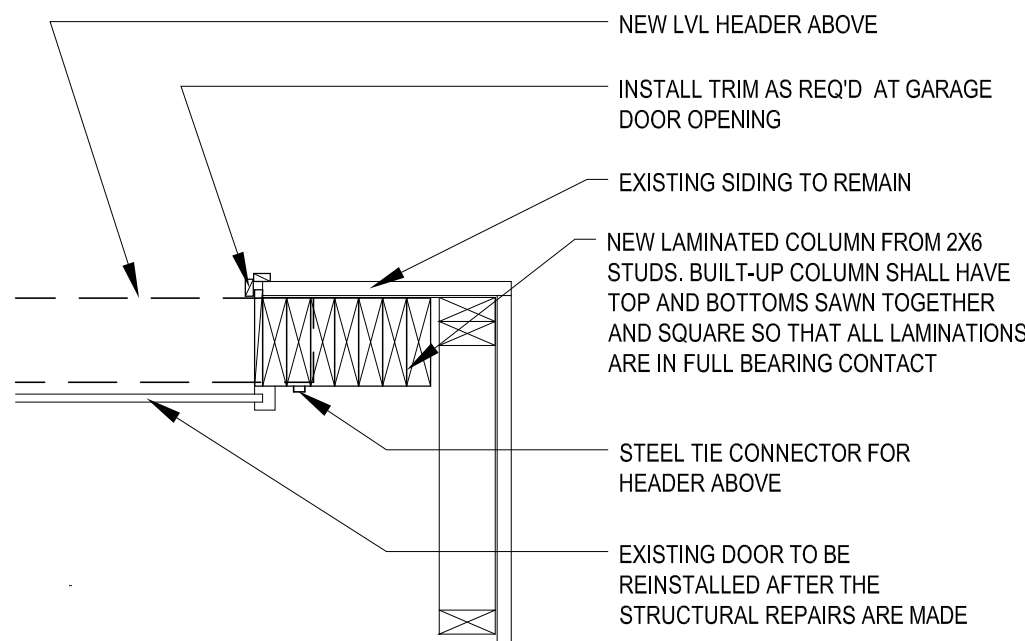
NOT USED

04

0 SCALE: 1'-0"  
1" = 1'-0"

GARAGE DOOR  
JAMB DETAIL

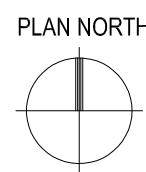
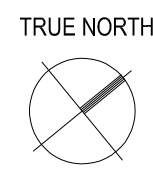
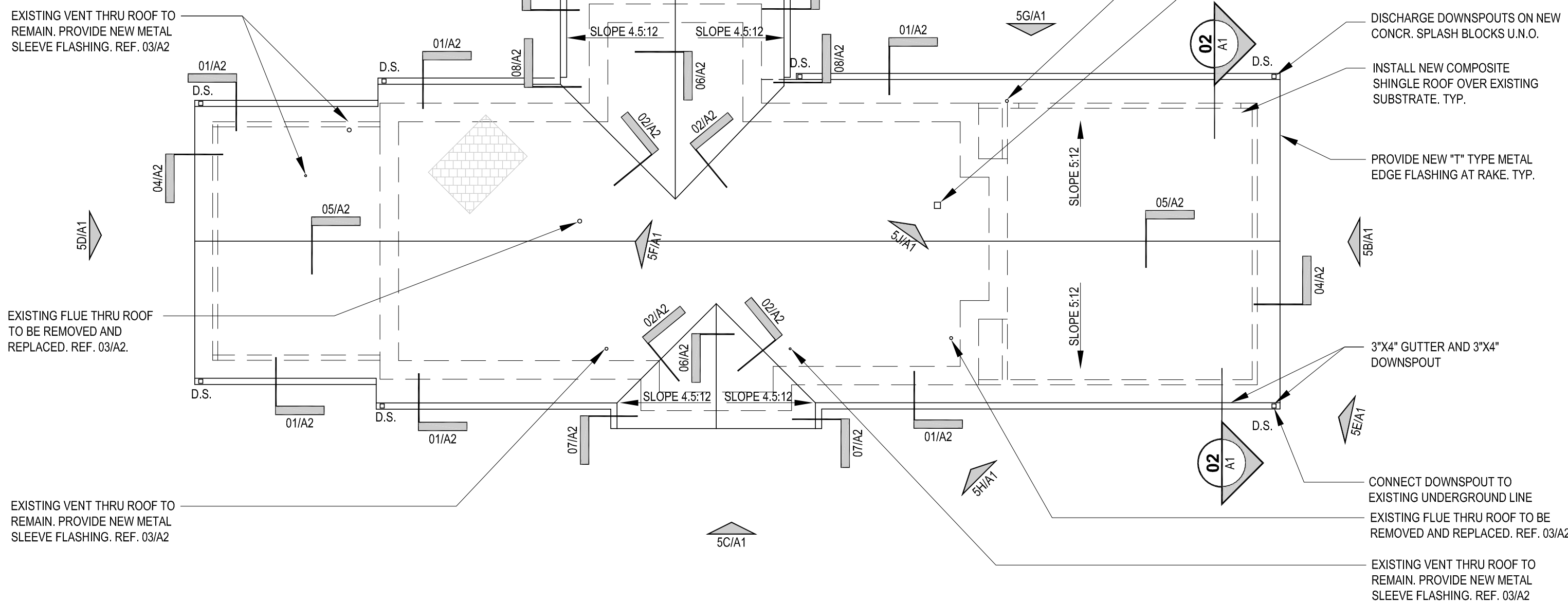
03



0 SCALE: 2'-0"  
1/2" = 1'-0"

SECTION AT GARAGE

02

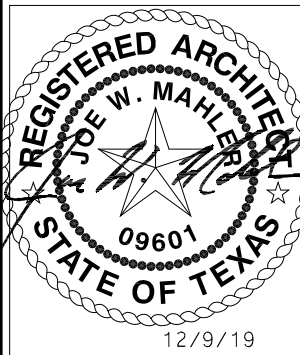


0 SCALE: 8'-0"  
1/8" = 1'-0"

RESIDENCE  
ROOF PLAN

01

TEXAS  
PARKS &  
WILDLIFE



PDG  
ARCHITECTS

BIG SPRING STATE PARK  
RESIDENCE ROOF REPLACEMENT  
PROJECT NUMBER: EH10338

DATE: 12-9-2019  
DESIGN BY: JWB  
DRAWN BY: HF/RZ  
REVIEW BY: JWB  
REVISED:  
REVISED:

SHEET TITLE  
ROOF  
PLAN & PHOTOS

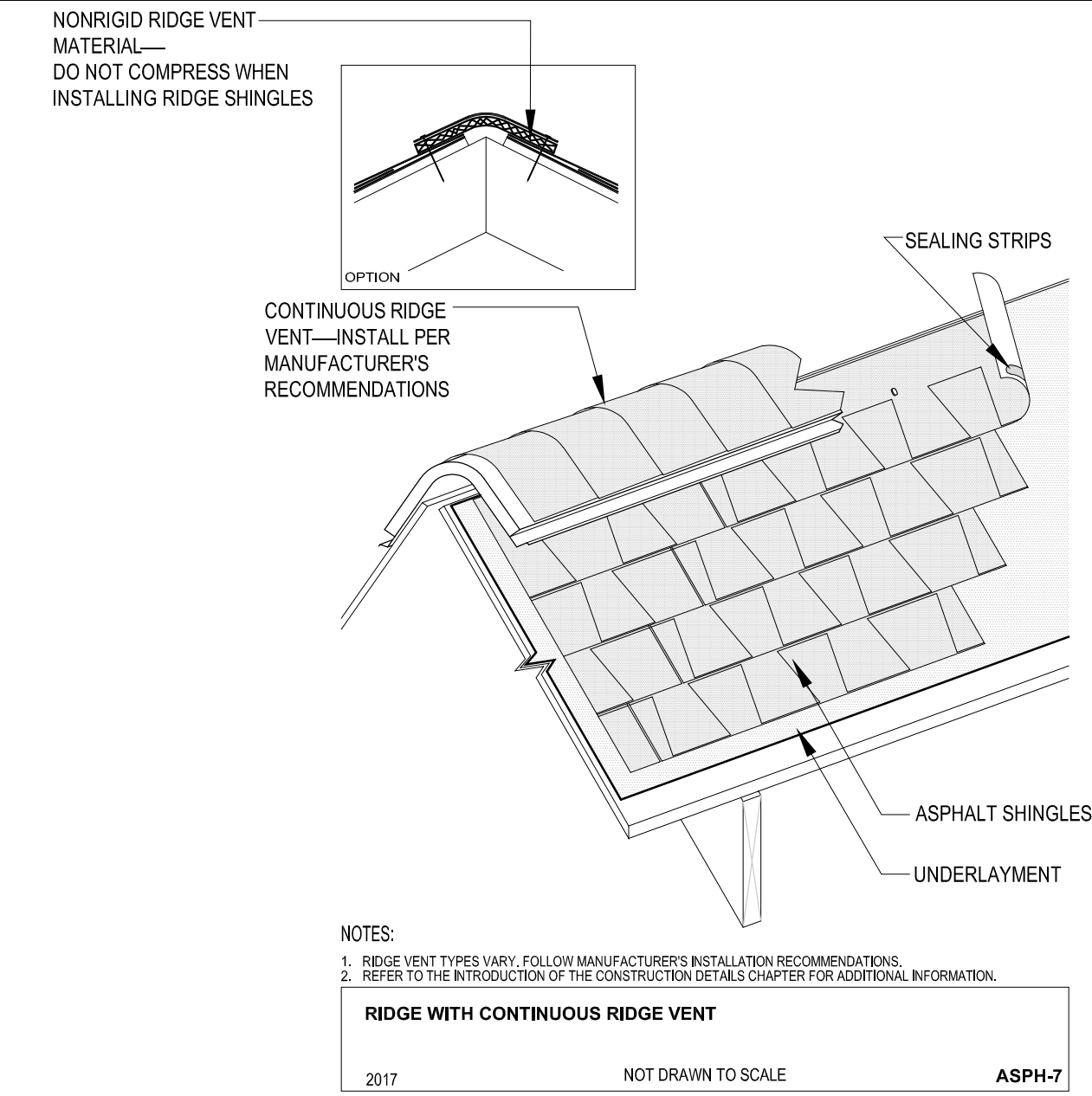
SHEET NUMBER  
A1



- NOTES:
1. DETAILS ARE FROM NATIONAL ROOFING CONTRACTOR'S ASSOCIATION U.N.O.
  2. FOLLOW INSTALLATION DETAILS AND GUIDELINES FROM ROOFING PRODUCT MANUFACTURER.
  3. IF DETAILS DO NOT EXIST FOR A PARTICULAR SITUATION, CONTACT ARCHITECT BEFORE PROCEEDING.

SCALE:  
N.T.S.

NOT USED 09

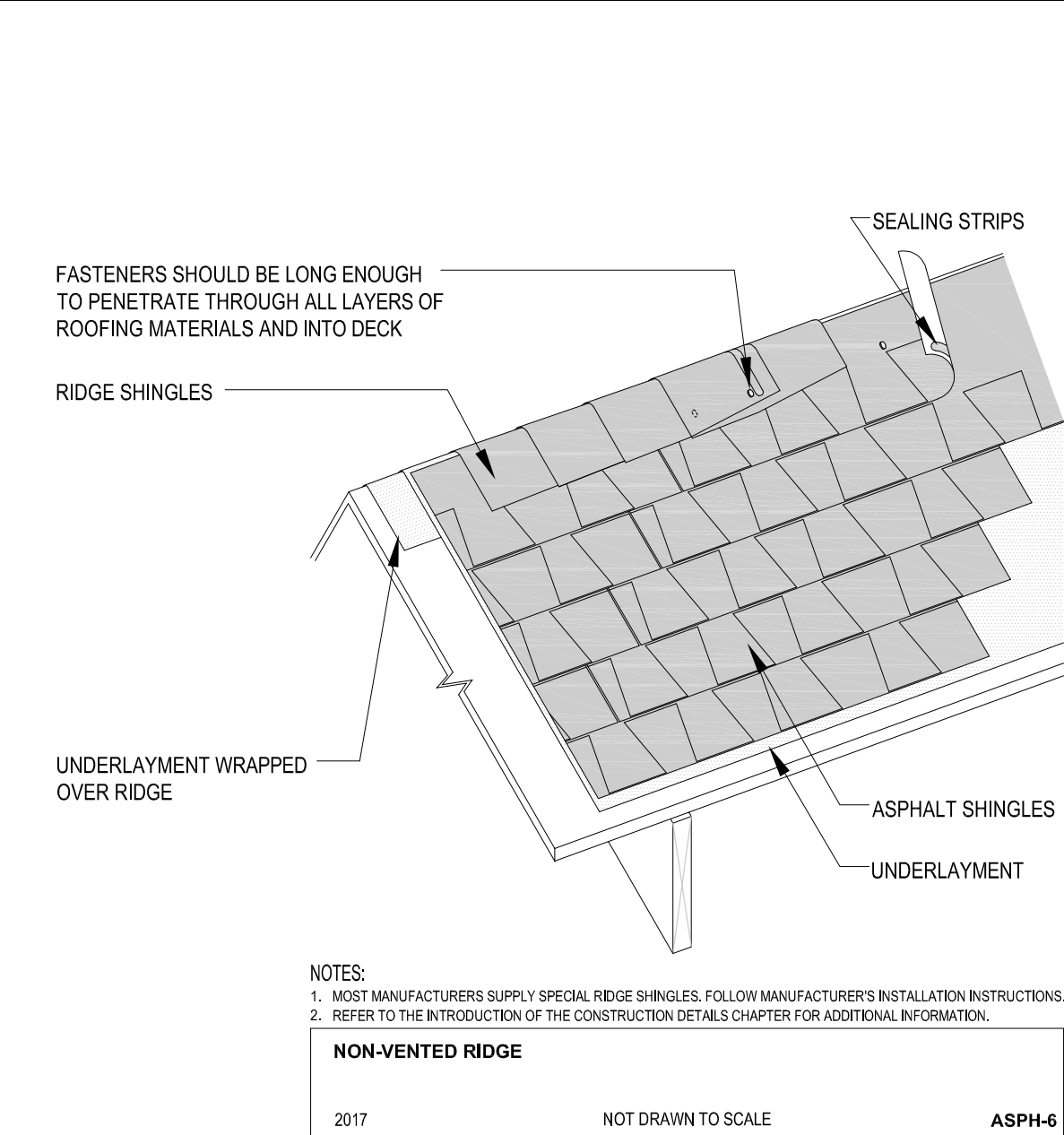


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NRCA 05  
VENTED RIDGE DETAIL

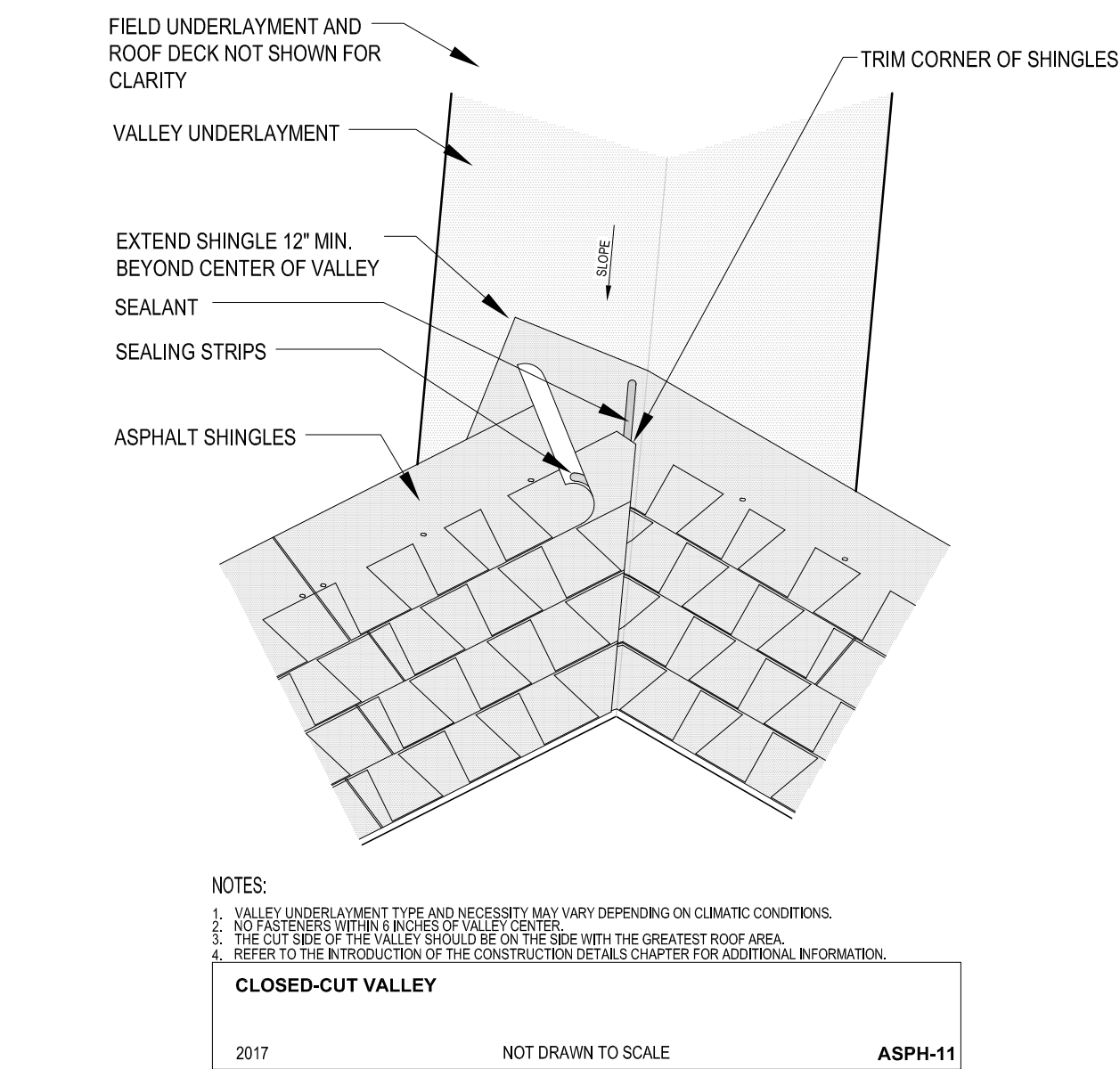
SCALE:  
N.T.S.

NRCA 06  
NON VENTED RIDGE DETAIL



SCALE:  
N.T.S.

NRCA 02  
VALLEY DETAIL

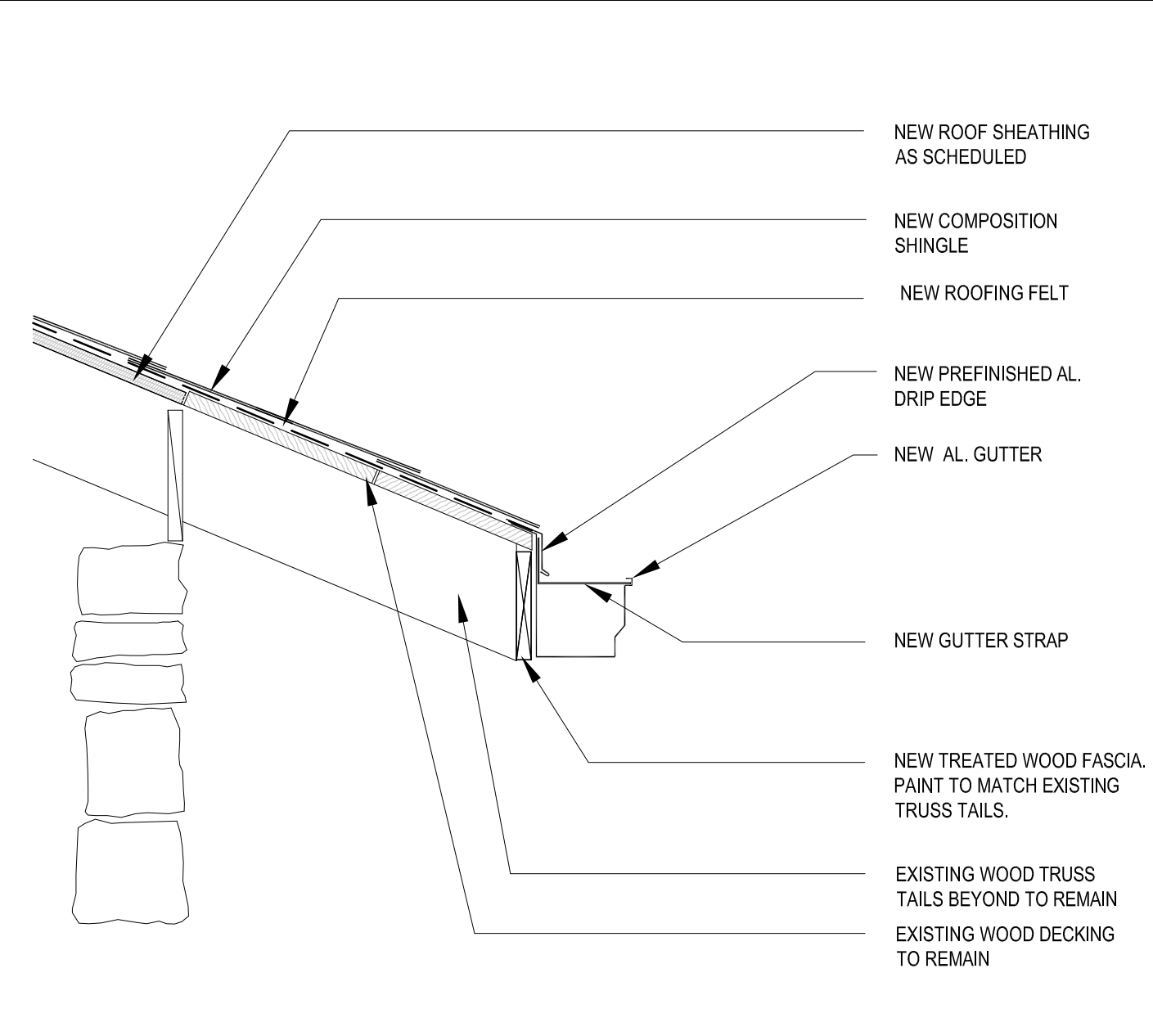


SCALE:  
N.T.S.

NRCA 02  
VALLEY DETAIL

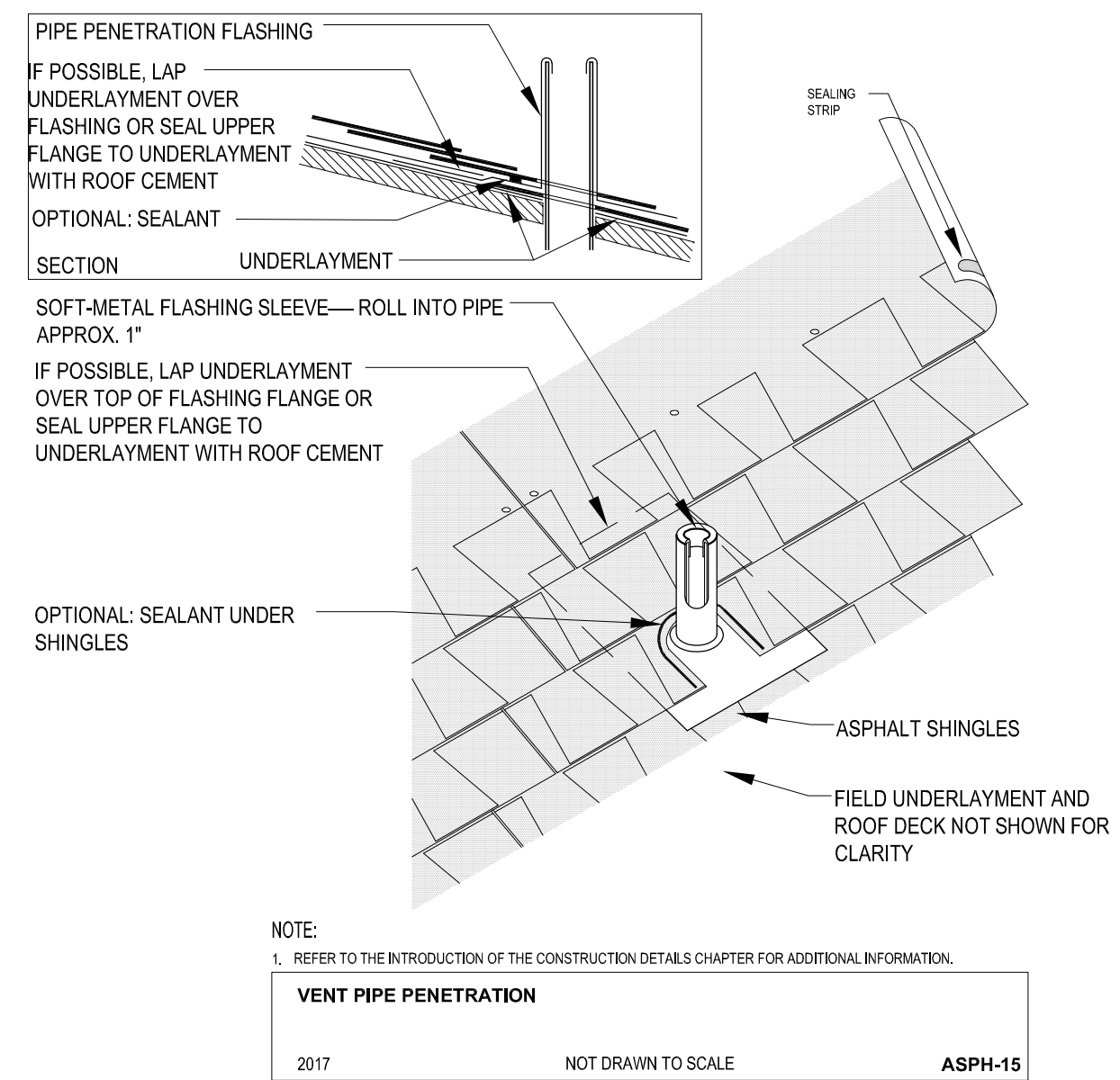
SCALE:  
N.T.S.

NRCA 03  
PENETRATION DETAIL



SCALE:  
N.T.S.

NRCA 03  
PENETRATION DETAIL

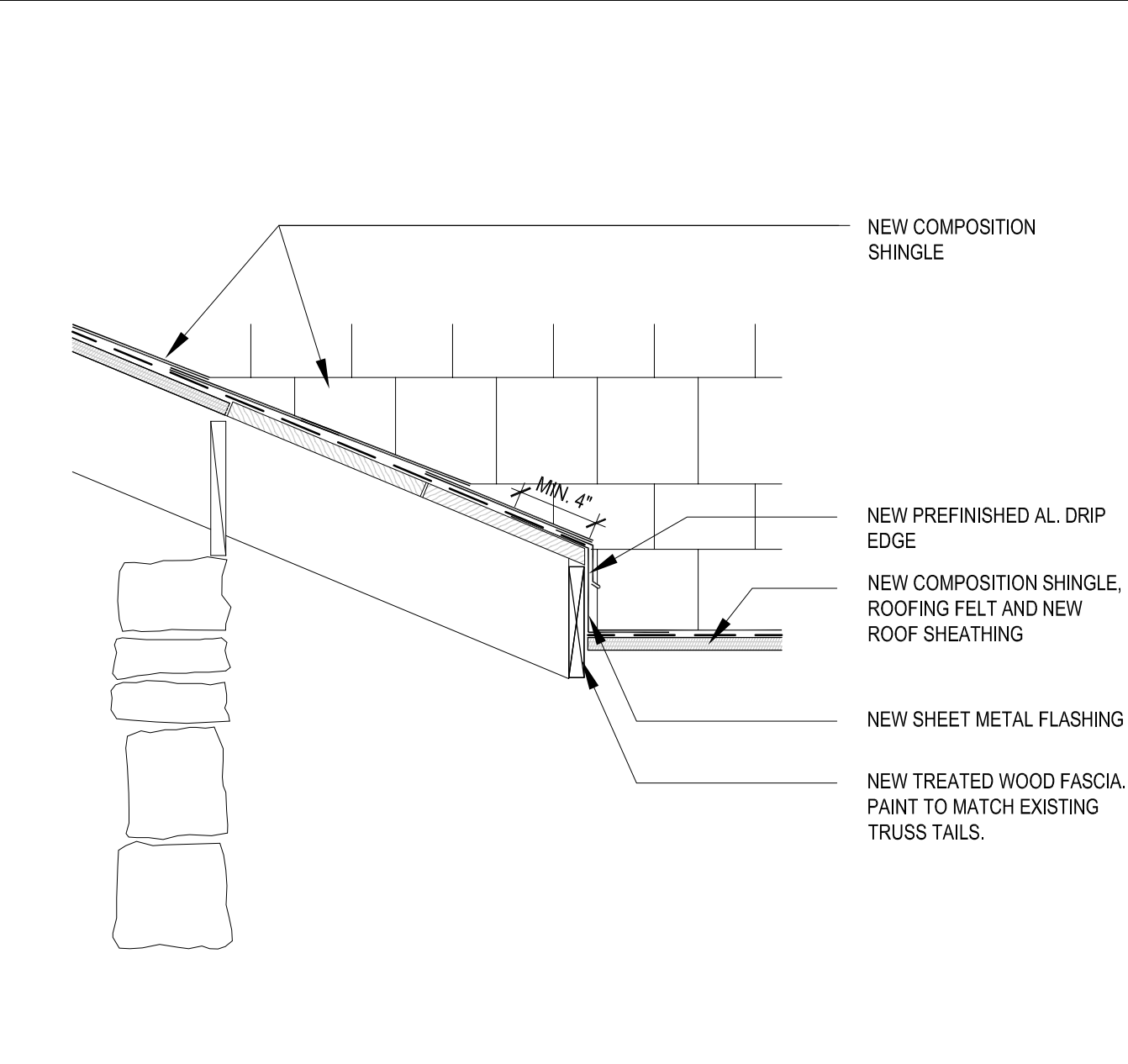


SCALE:  
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NRCA 03  
PENETRATION DETAIL

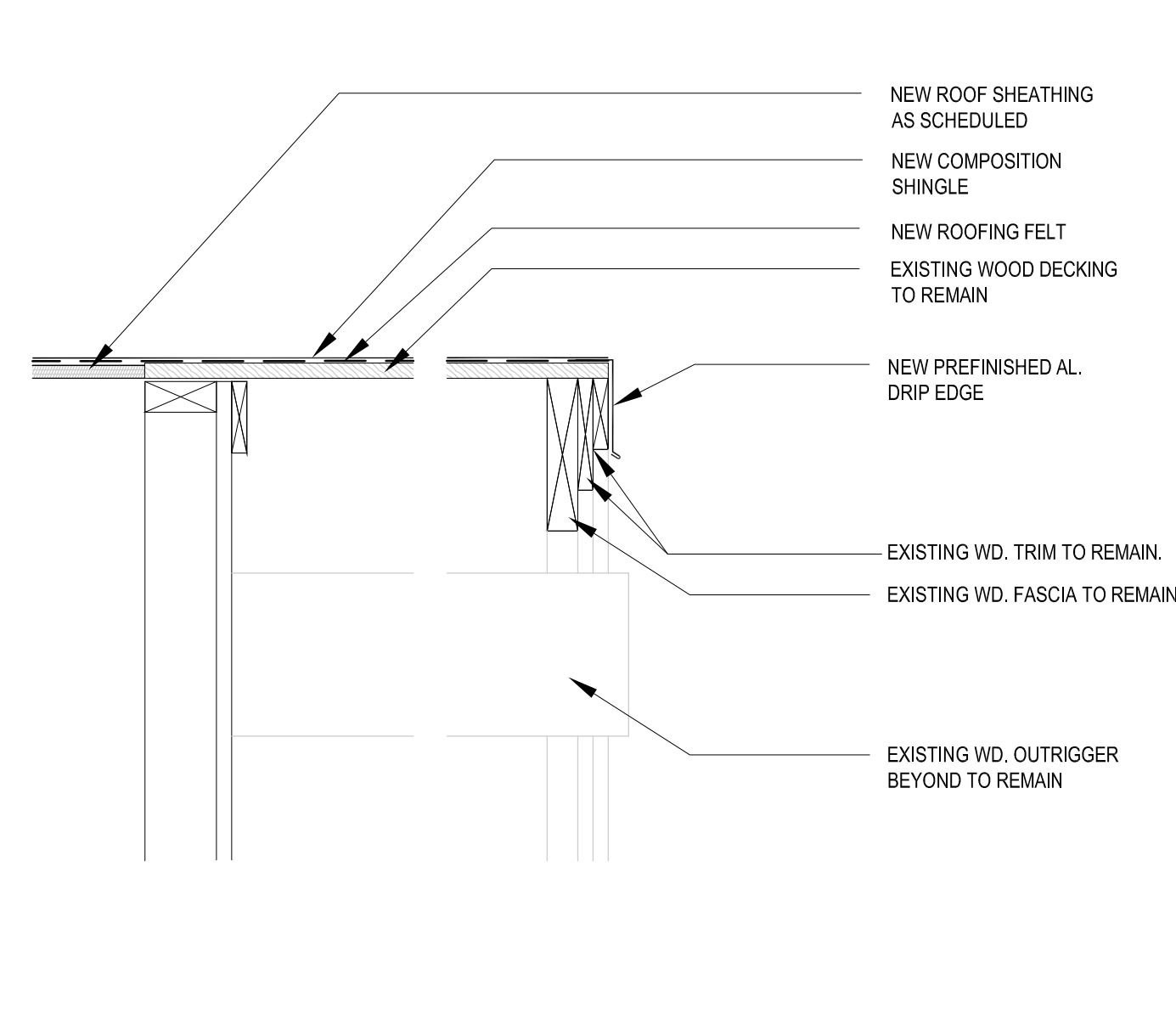
SCALE:  
N.T.S.

08  
FLASHING AT EAVE TRANSITION



SCALE:  
N.T.S.

04  
RAKE DETAIL

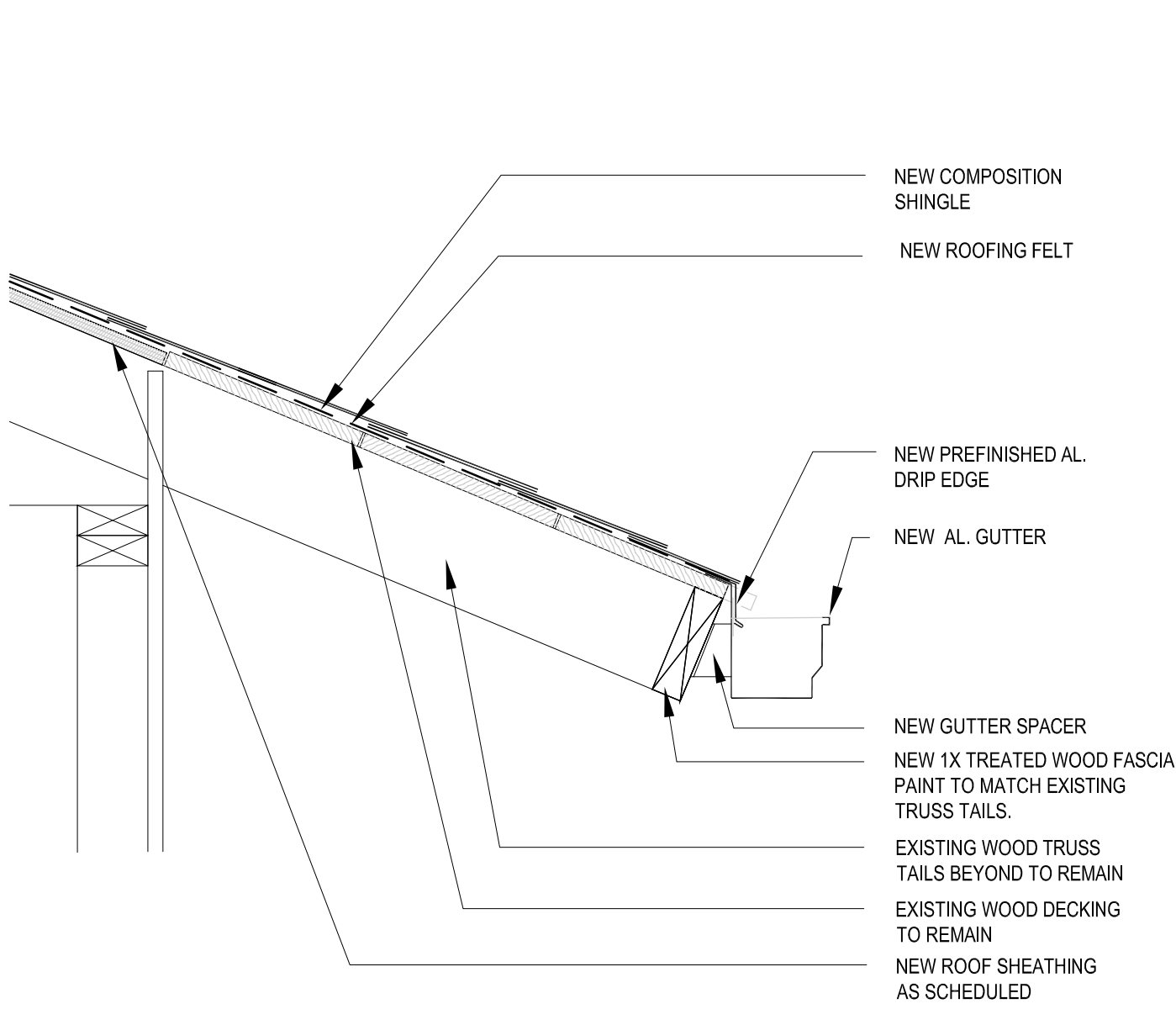


SCALE:  
N.T.S.

04  
RAKE DETAIL

SCALE:  
N.T.S.

01  
EAVE WITH GUTTER DETAIL



SCALE:  
N.T.S.

04  
RAKE DETAIL